

**SUNSHINE NOTICE
BOROUGH OF BERGENFIELD
ZONING BOARD OF ADJUSTMENT SPECIAL MEETING
TELECONFERENCE MEETING VIA WEBEX
MAY 13, 2020 8:00PM**

Please be advised there will be a Special Zoning Board of Adjustment Meeting to continue review of the revised plans for 104 Highgate Terrace LLC. Due to the current state of emergency and public health emergency declared by Governor Phil Murphy pursuant to Executive Order No. 103, and in an effort to prevent further spread of COVID-19, this meeting will be held via teleconference using Cisco Webex Meetings in lieu of an in-person meeting. This meeting is scheduled to commence at 8:00 pm.

Members of the public can join this meeting from their computer, tablet, or smartphone. Members of the public who join this meeting will be able to give public comment during the relevant portions of the meeting.

To join by phone:

Call: +1-408-418-9388 United States Toll

To join from a video system or application

Dial 796575591@boroughofbergenfield.my.webex.com

You can also dial 173.243.2.68 and enter your meeting number.

Join using Microsoft Lync or Microsoft Skype for Business

Dial 796575591.boroughofbergenfield.my@lync.webex.com

Meeting number (access code): 796 575 591

Meeting password: Pif4PyYkY85 (74347995 from phones and video systems)

The Zoning Board of Adjustment agenda and the application to be heard at this meeting can be reviewed and downloaded from the Borough website. An appointment to view the plan in-person may be made between the hours of 10:00am-2:00pm by contacting the Board Clerk, Hilda Tavitian, at (201) 387-4055 x4056.

Please visit the Borough website on www.bergenfield.com for updates and additional information on this meeting.

Hilda Tavitian, Clerk
Zoning Board of Adjustment
Borough of Bergenfield

***THIS IS A PUBLIC NOTICE, NOT A PAID LEGAL AD.**

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AGENDA

MEETING CALLED TO ORDER

OPEN PUBLIC MEETING STATEMENT

In compliances with the Open Public Meetings Act, the notice requirements have been satisfied. Notice of this meeting was provided to the Record, Star Ledger, and Cablevision, posted on two municipal public notice bulletin boards and published on the borough website.

Any board member having a conflict of interest involving any matter to come before the board this evening is reminded they must recuse himself/herself from participating in any discussion on that matter.

PLEDGE OF ALLEGIANCE

ROLL CALL

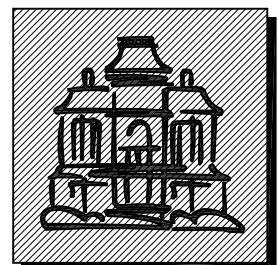
OLD BUSINESS

1. 104 Highgate Terrace LLC
104 Highgate Terrace
Construct an addition to single-family dwelling

MOTION TO ADJOURN MEETING

NOTE: No applications will be heard by the Board that were not on the agenda at the time of publication release to the newspaper or applications that do not comply with Article VIII title "Hearings contained in the By-Laws of the Bergenfield Board".

Proposed Addition/Renovation
Over Existing Single Family Residence
104 Highgate Terr. Bergenfield, New Jersey



Jordan Rosenberg
ARCHITECTS
& ASSOCIATES
27 N. Broad St
Ridgewood NJ
(201) 669-8614
jarchitect@gmail.com

ZONING DATA

PROJECT DESCRIPTION: PROPOSED ADDITION & RENOVATION			BLOCK: 323	LOT: 19
ZONE: R-5 , SUBJECT TO R-6 REQUIREMENTS			BUILDING CODES USED:	BERGENFIELD TOWN ORDINANCE
<u>LOT SIZE</u>	<u>EXISTING</u>	<u>MIN. REQ'D</u>	<u>PROPOSED</u>	<u>VARIANCE REQ'D</u>
AREA	6,000 SF	6000 SF	(NO CHANGE)	NO
WIDTH	50 FT	60 FT	(NO CHANGE)	NO
DEPTH	120 FT	100 FT	(NO CHANGE)	NO

SETBACKS	EXISTING	REQ'D	PROPOSED	VARIANCE REQ'D
FRONT YARD	31'-6"	25 FT	27'-0" TO PORCH 31'-6" TO HOUSE	NO
R SIDE YARD	5 FT	7.5 FT	7'-8"	NO
L SIDE YARD	12.75 FT	7.5 FT	7'-8"	NO
COMBINED SIDE YARD	17.75 FT	15 FT	15'-4"	NO
REAR YARD	62 FT +/-	25 FT	27'-0"	NO
MAXIMUM BUILDING HEIGHT	N/A	30 FT/2 STORY	29'-6"	NO
MAXIMUM LOT COVERAGE (BUILDING COVERAGE)	806 SF (13.4%)	1,800 SF (30.0 %)	2,035 SF (33.9%)	YES
TOTAL IMPROVED LOT COVERAGE COUNTING PAVERS	N/A	2,100 SF (35.0 %)	2,893 SF (48.2%)	YES
TOTAL IMPROVED LOT COVERAGE NOT COUNTING PAVERS	N/A	2,100 SF (35.0 %)	2,100 SF (35.0%)	NO

LOT COVERAGE (BUILDING)		
IMPROVED COVERAGE	EXISTING	EXIST. + PROP.
MAIN DWELLING	806 SF	1,990 SF
COVERED FRONT PORCH	0 SF	45 SF
TOTALS (% OF ENTIRE LOT AREA)	806 SF	2,035 SF

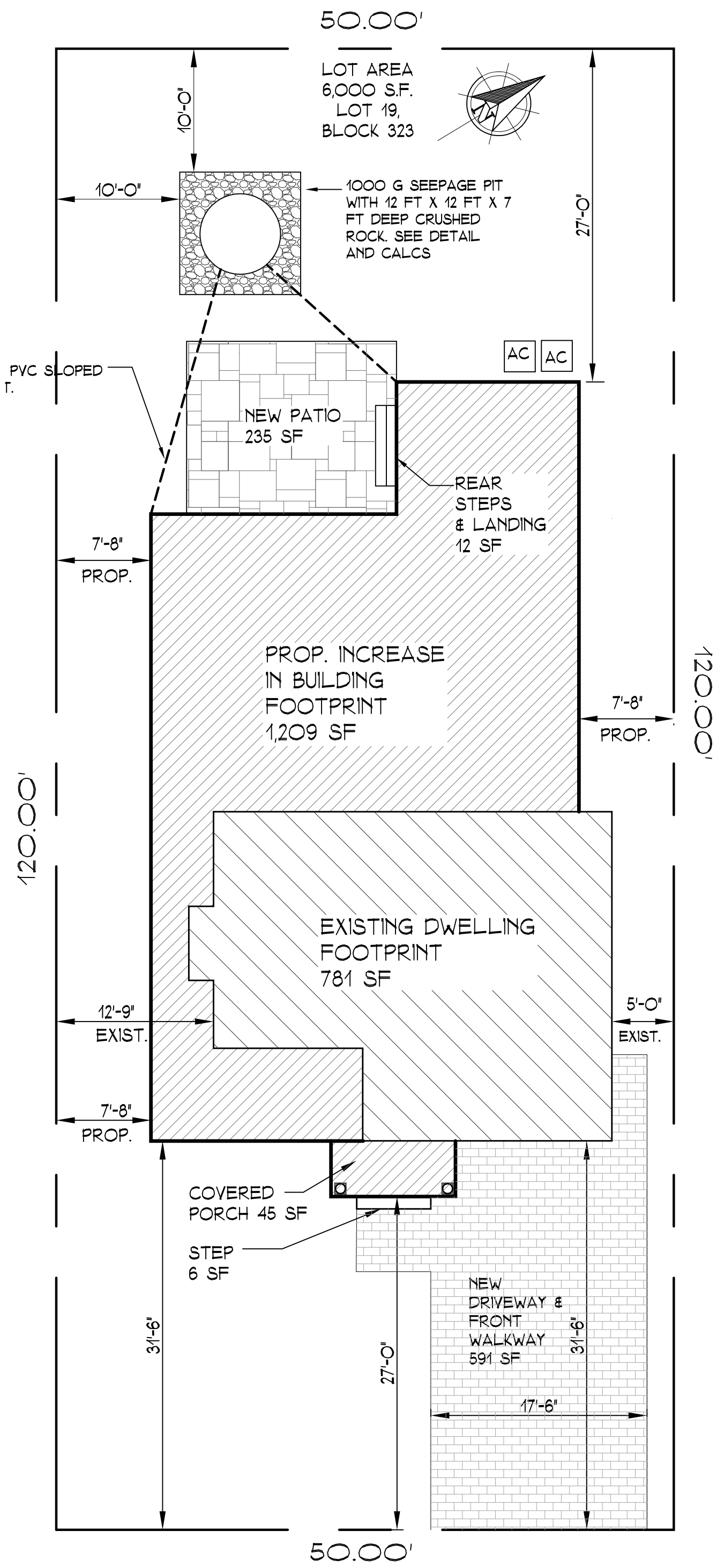
BUILDING CHARACTERISTICS	
BUILDING CLASSIFICATION	SINGLE FAMILY RESIDENCE
USE GROUP	R5
CONSTRUCTION TYPE	5B
NUMBER OF STORIES	2
AREA OF LARGEST FLOOR	1,990 SF
NEW BUILDING AREA	3,980 SF (1ST FL. + 2ND FL.)
VOLUME OF NEW STRUCTURE	49,984 CU FT

TOTAL IMPROVED LOT COVERAGE	
IMPROVED COVERAGE	PROPOSED
MAIN DWELLING	1,990 SF
COVERED FRONT PORCH	45 SF
FRONT STEP	6 SF
DRIVEWAY	591 SF
REAR PATIO	249 SF
REAR STEPS	12 SF
TOTALS (% OF ENTIRE LOT AREA)	2,893 SF

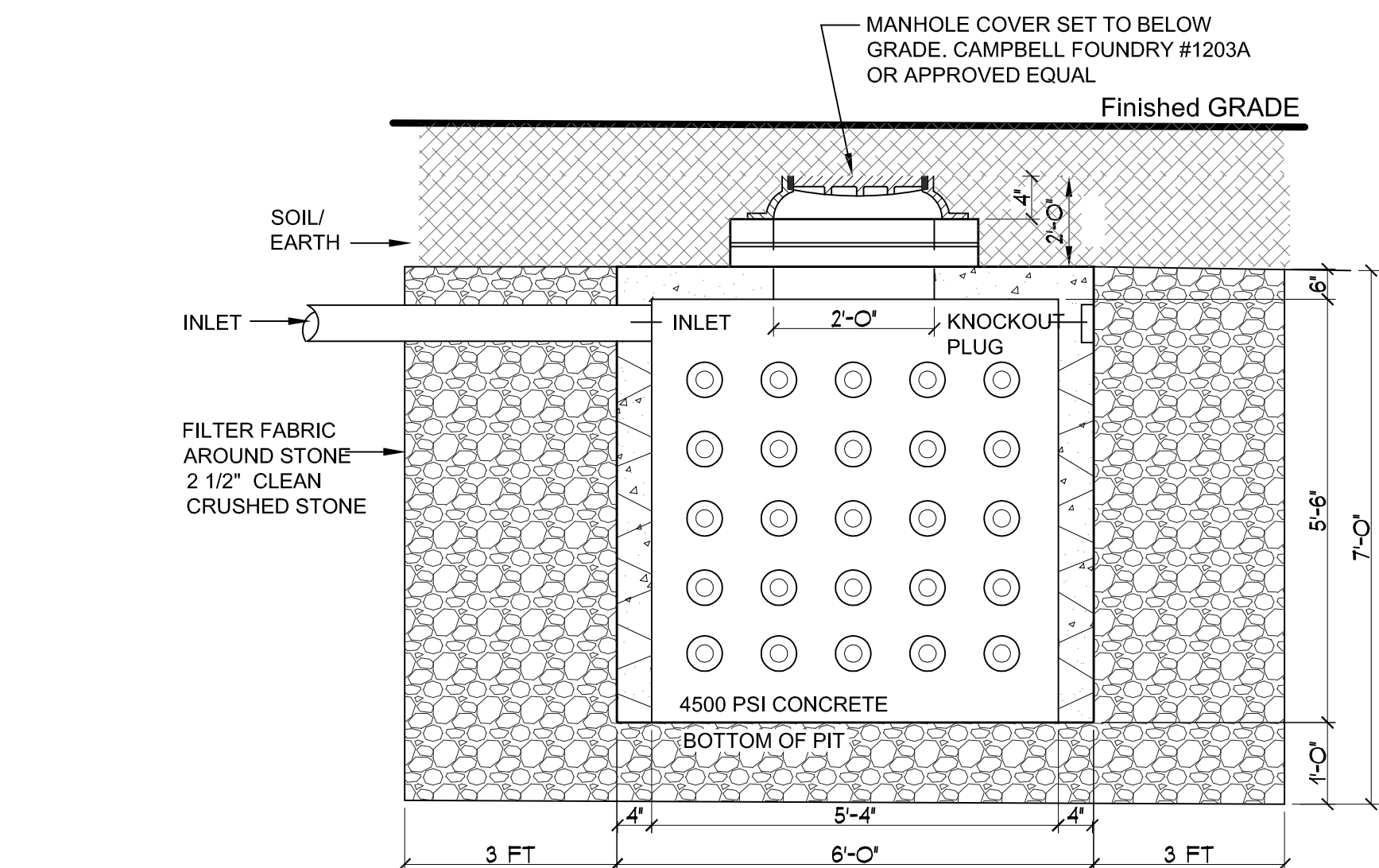
ALL DRAWINGS HERE WITHIN SHALL CONFORM TO THE LATEST LOCAL AND STATE CODES AS LISTED BELOW:

REHABILITATION SUBCODE (NJAC 5:23-6) NUCC, SUBCHAPTER 6
WHEN APPLICABLE, INTERNATIONAL RESIDENTIAL CODE/2018, NJ ED (IRC W/ NJ EDITS FROM 3.21)
NATIONAL STANDARD PLUMBING CODE/2018 (NJAC 5:23-3.15)
NATIONAL ELECTRICAL CODE (NFPA 70)/2017 (NJAC 5:23-3.16)
ENERGY SUBCODE ASHREA 90.1-2016
INTERNATIONAL MECHANICAL CODE/2018 (NJAC 5:23-3.20)
INTERNATIONAL FUEL GAS CODE/2018 (NJAC 5:23-3.22)

PERVIOUS PAVERS VS IMPERVIOUS PAVERS IMPROVED LOT COVERAGE CALCULATION	
PERVIOUS PAVERS	IMPERVIOUS PAVERS
35.0% IMPROVED LOT COVERAGE (2,100 S.F. IMPROVED COVERAGE)	48.2% IMPROVED LOT COVERAGE (2,893 S.F. IMPROVED COVERAGE)



1 SITE PLAN
SCALE: 1" = 1'-0"



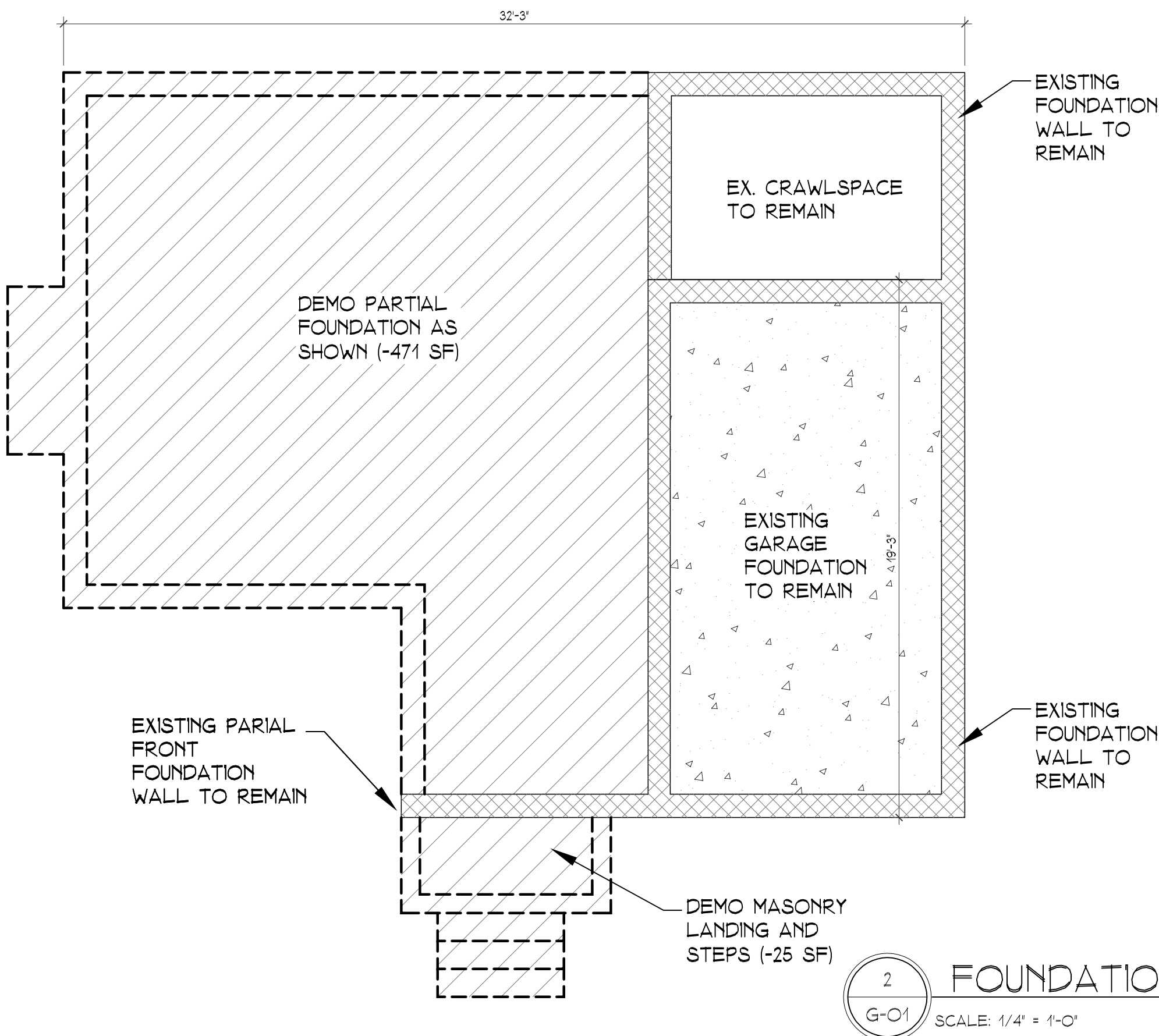
NOTES:
CONNECT SEEPAGE PITS TO TRENCH DRAIN WITH 4" MIN. PVC PIP

1000 G PRECAST CONC. SEEPAGE PIT (SHEA MANUF. OR EQUAL)

NOT TO SCALE

SEEPAGE PIT VOLUME CALCULATIONS	
PRECAST CONCRETE SEEPAGE PIT 6 FT DIA X 6.5 FT H SHEA 1000G CYLINDRICAL DRYWELL OR EQUAL	
VOLUME OF (1) SEEPAGE PIT	
HEIGHT OF PIT	6.5 ft
OUTSIDE DIAMETER OF PIT=	6 ft
INSIDE DIAMETER OF PIT=	5.34 ft
CAPACITY OF SEEPAGE PIT=	134 CF
	1,002 gal
VOLUME OF STONE TRENCH	
WIDTH=	12.0 ft
LENGTH=	12.0 ft
DEPTH=	7.0 ft
TRENCH VOLUME = L x W x D=	1,008 c.f.
LESS OUTER VOLUME OF SEEPAGE PIT = $\pi R^2 \times D$ =	183 cf
NET VOLUME=	825 cf
VOID RATIO=	0.4
VOLUME OF STONE VOIDS=	330 cf (2,468 gal)
TOTAL VOLUME PER SEEPAGE PIT	513 cf (3,837 gal)
NUMBER OF PITS PROVIDED	1

RAINWATER RUNOFF CALCULATIONS	
EXISTING IMPERVIOUS AREA =	1,340 S.F.
PROPOSED IMPERVIOUS AREA =	2,868 S.F.
INCREASE =	1,528 S.F.
DESIGN BASIS:	1 GAL OF STORAGE / 1 S.F. OF IMPERVIOUS AREA
RUNOFF COEFFICIENT: 1.0	
INCREASE IN IMPERVIOUS AREA: 1,528 S.F.	
RUNOFF VOLUME: 1,528 GAL. REQ'D	
TOTAL VOLUME OF SEEPAGE PIT PROVIDED:	
USE (1) PITS = 3,837 GAL. PROVIDED	
(SEE SEEPAGE PIT VOLUME CALCULATIONS)	
USE (1) 6" DIA. X 6.5' DEEP SEEPAGE PITS IN A 3/4" STONE BED OF 12" X 12" X 7" DEEP	



2 FOUNDATION DEMO PLAN
SCALE: 1/4" = 1'-0"

SET ISSUES & DATES:

PROPOSED ADDITION/RENOVATION
TO EXISTING SINGLE FAMILY RESIDENCE
104 HIGHGATE TERR. BERGENFIELD, NJ

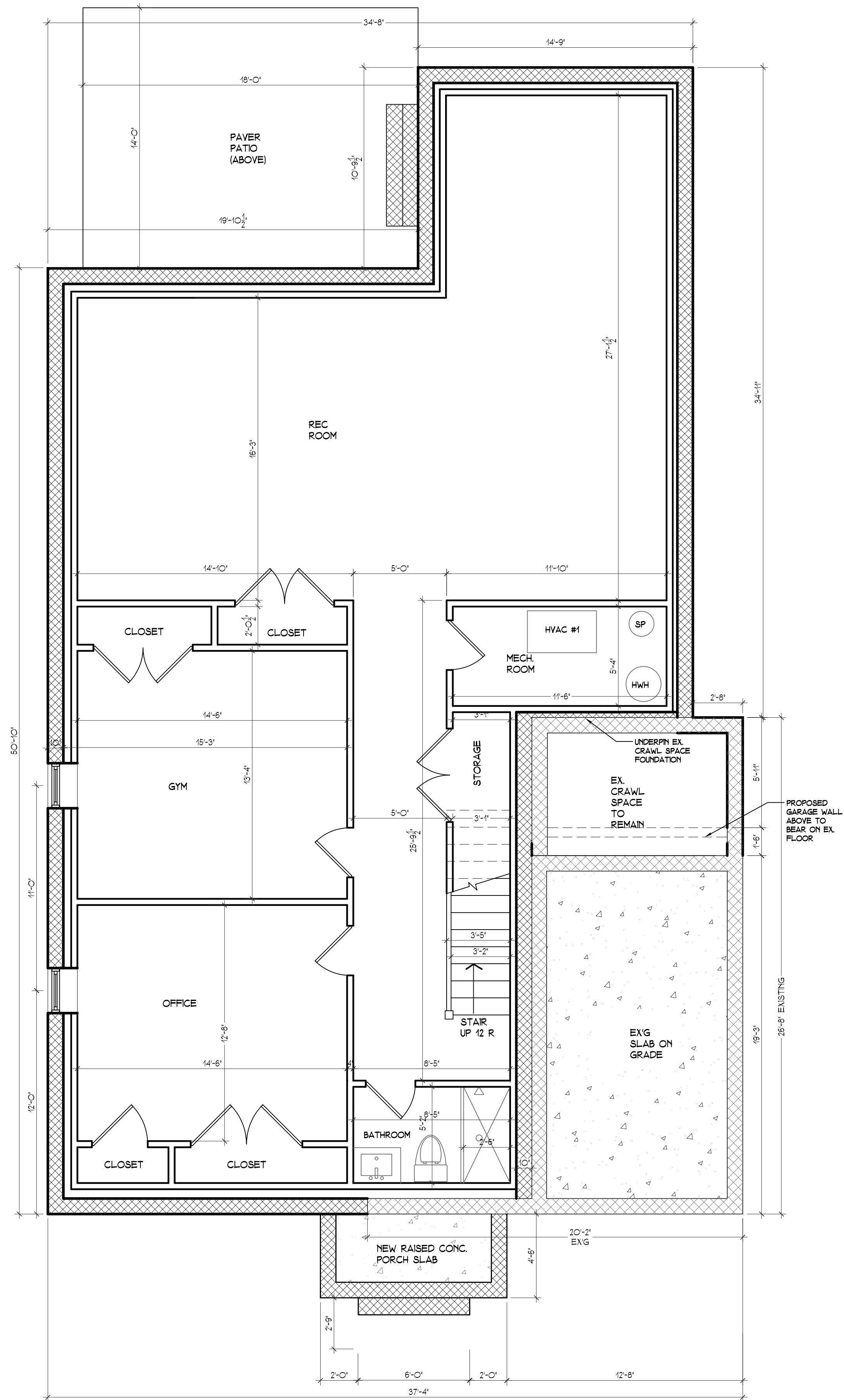


JORDAN
ROSENBERG, R.A.
NJ ARCHITECT:
#16495

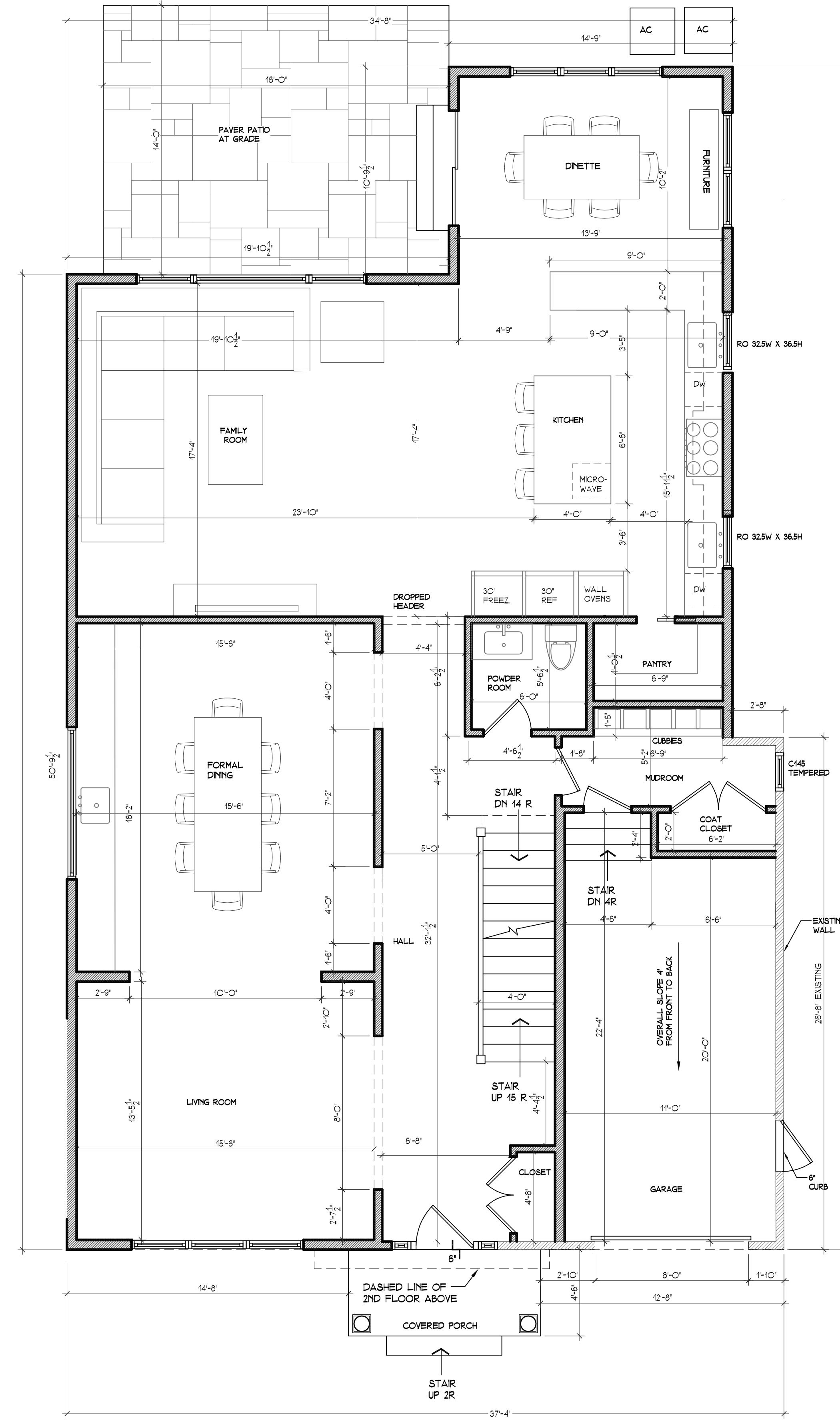
REV DATE
5-11-20

DRAWN BY
JR

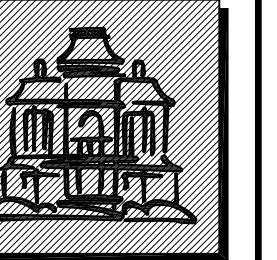
G-01



2 BASEMENT PLAN
A-01 SCALE: 1/4" = 1'-0"



1 FIRST FLOOR PLAN
A-01 SCALE: 1/4" = 1'-0"



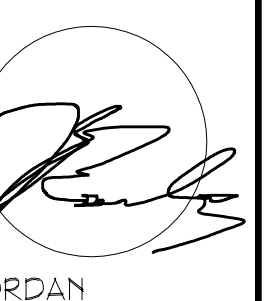
Jordan Rosenberg
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SET ISSUES & DATES:

1-14-20	ZONING BOARD OF ADJUSTMENTS SUBMISSION
2-15-20	REVISION FOR ZONING BOARD OF ADJUSTMENTS
5-11-20	REVISION FOR ZONING BOARD OF ADJUSTMENTS

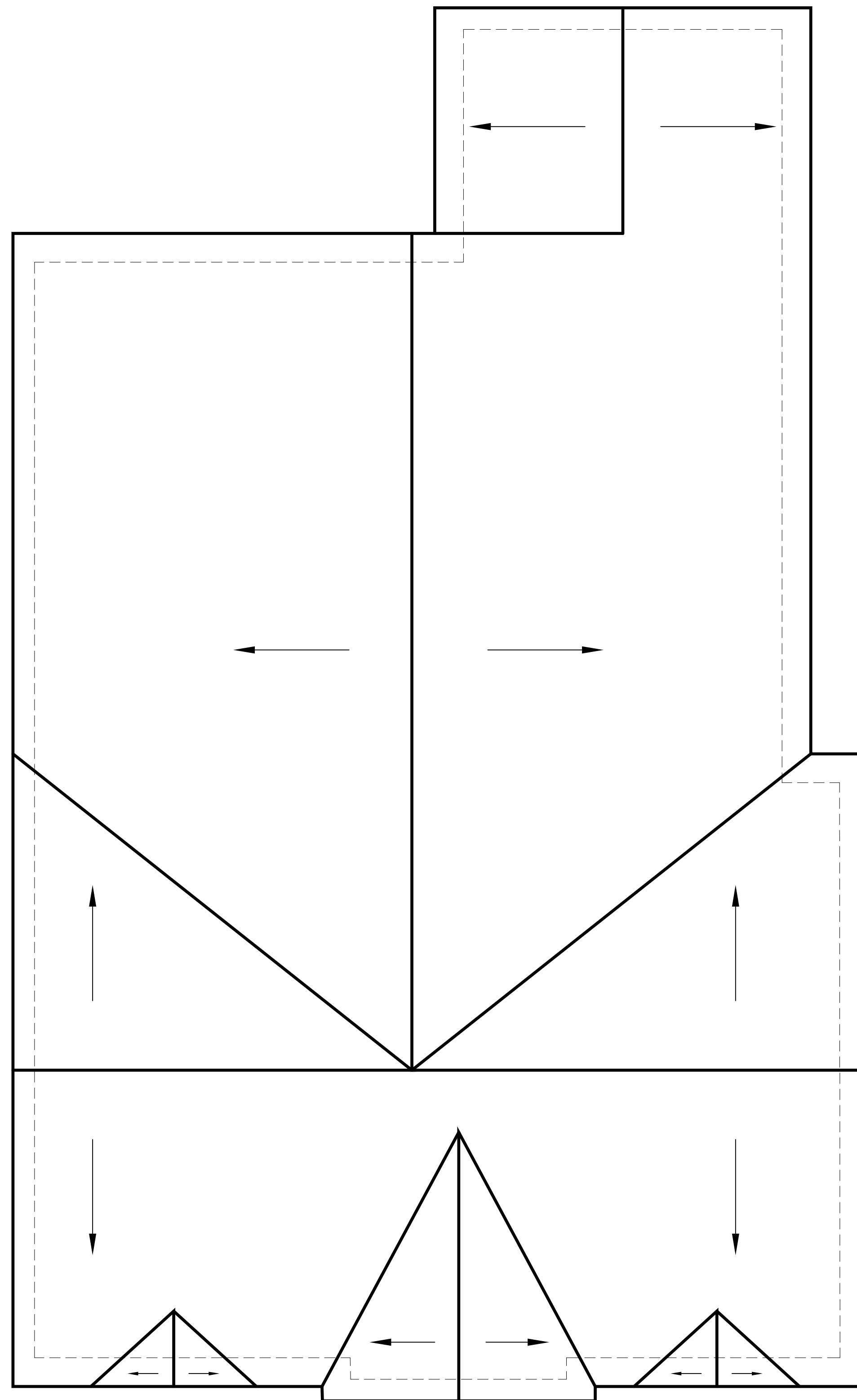
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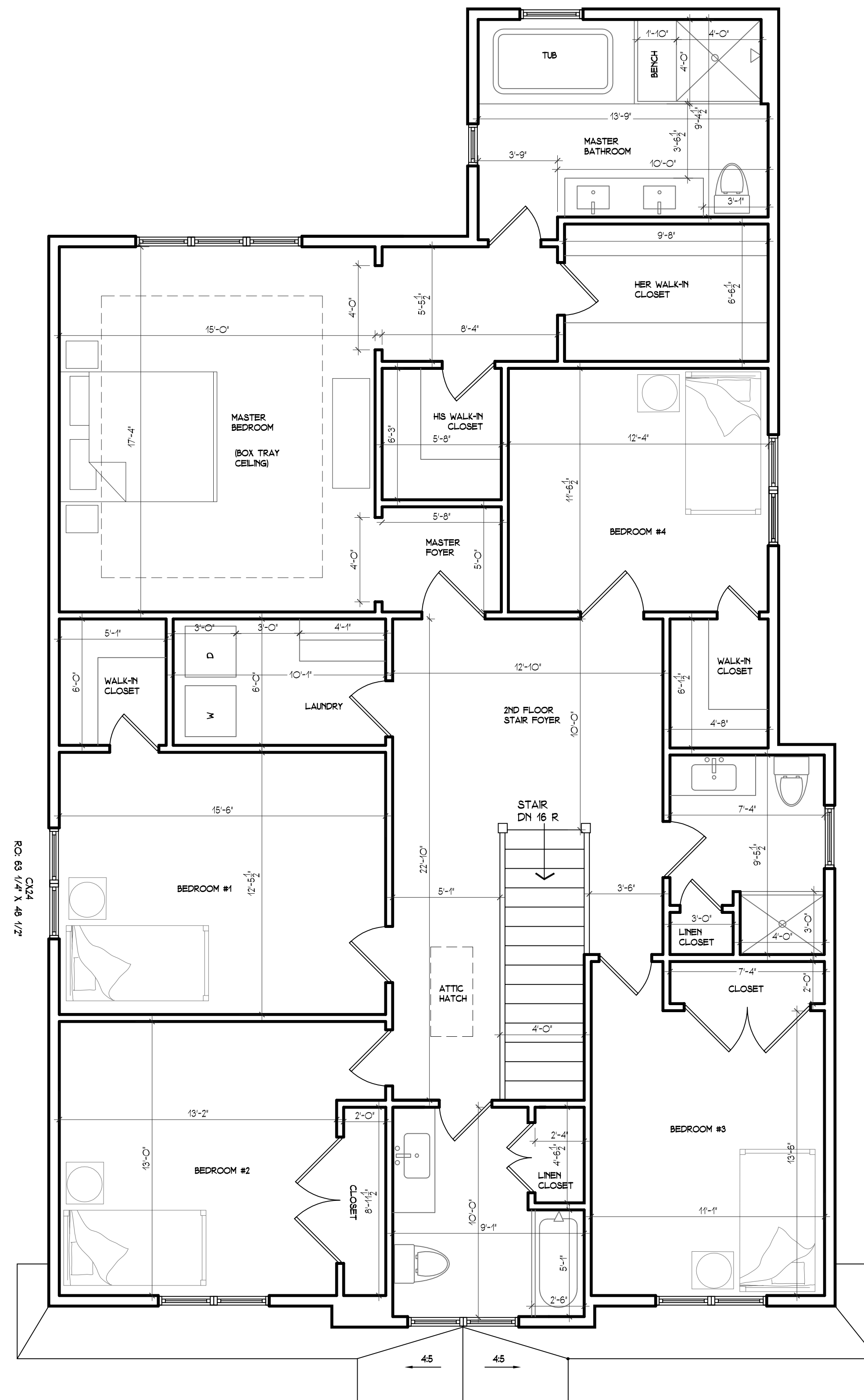
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ROSENBERG, R.A.
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#16495

REV DATE	DRAWN BY
5-11-20	JR

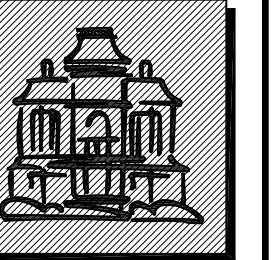
A-01



4 ROOF PLAN
A-02 SCALE: 1/4" = 1'-0"



3 SECOND FLOOR PLAN
A-02 SCALE: 1/4" = 1'-0"



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SET ISSUES & DATES:

1-4-20	ZONING BOARD OF ADJUSTMENTS SUBMISSION
2-19-20	RESUBMISSION FOR ZONING BOARD OF ADJUSTMENTS
5-11-20	RESUBMISSION FOR ZONING BOARD OF ADJUSTMENTS

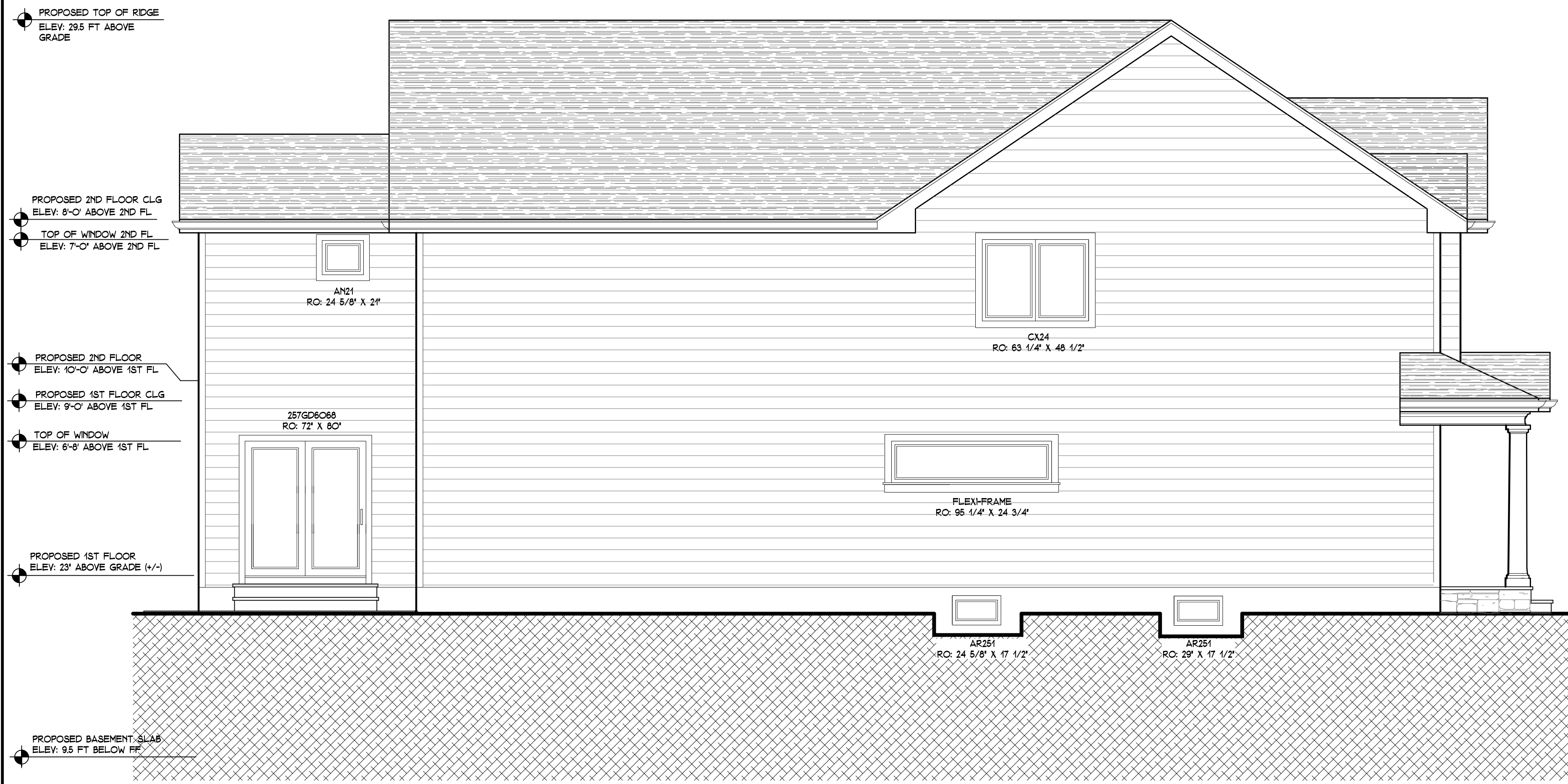
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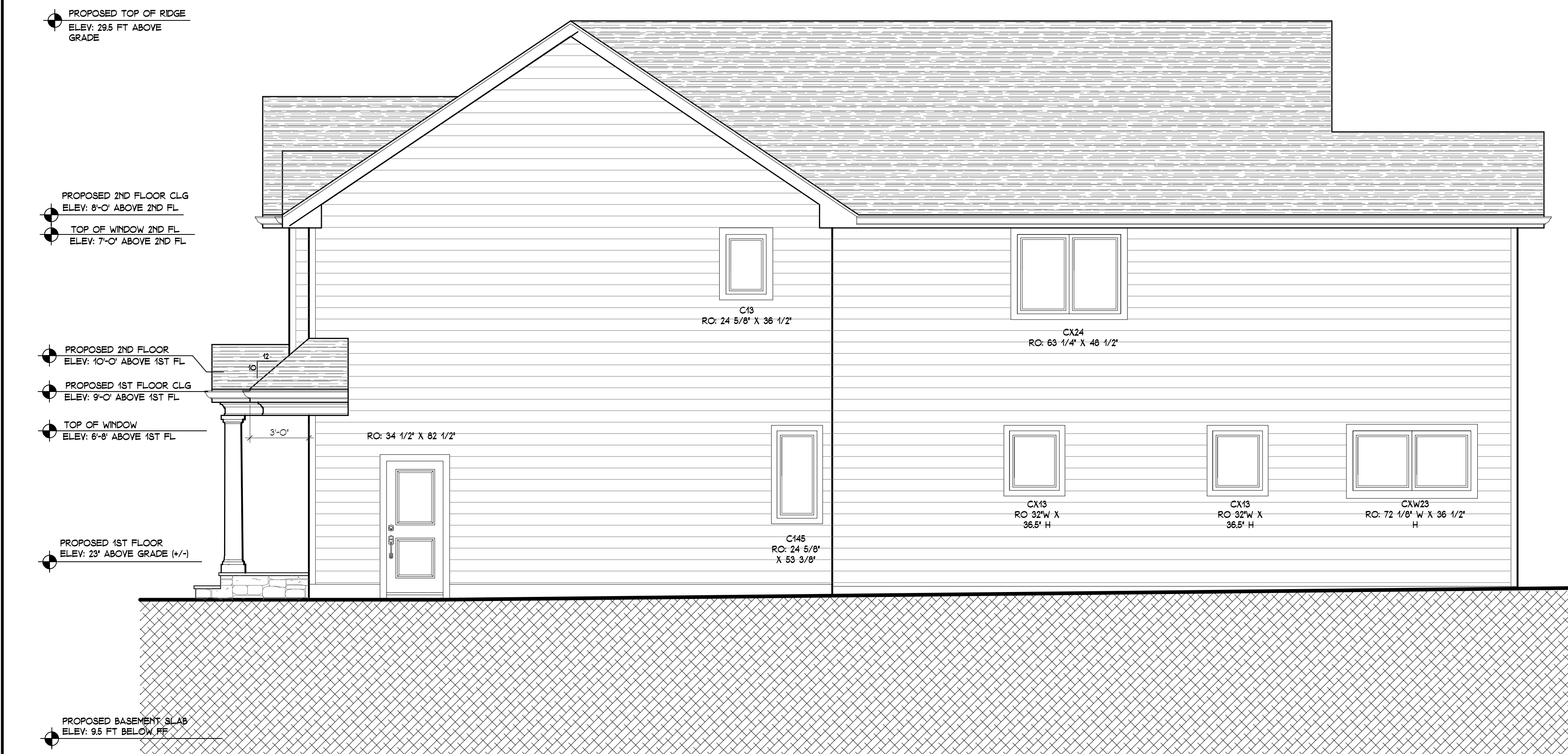
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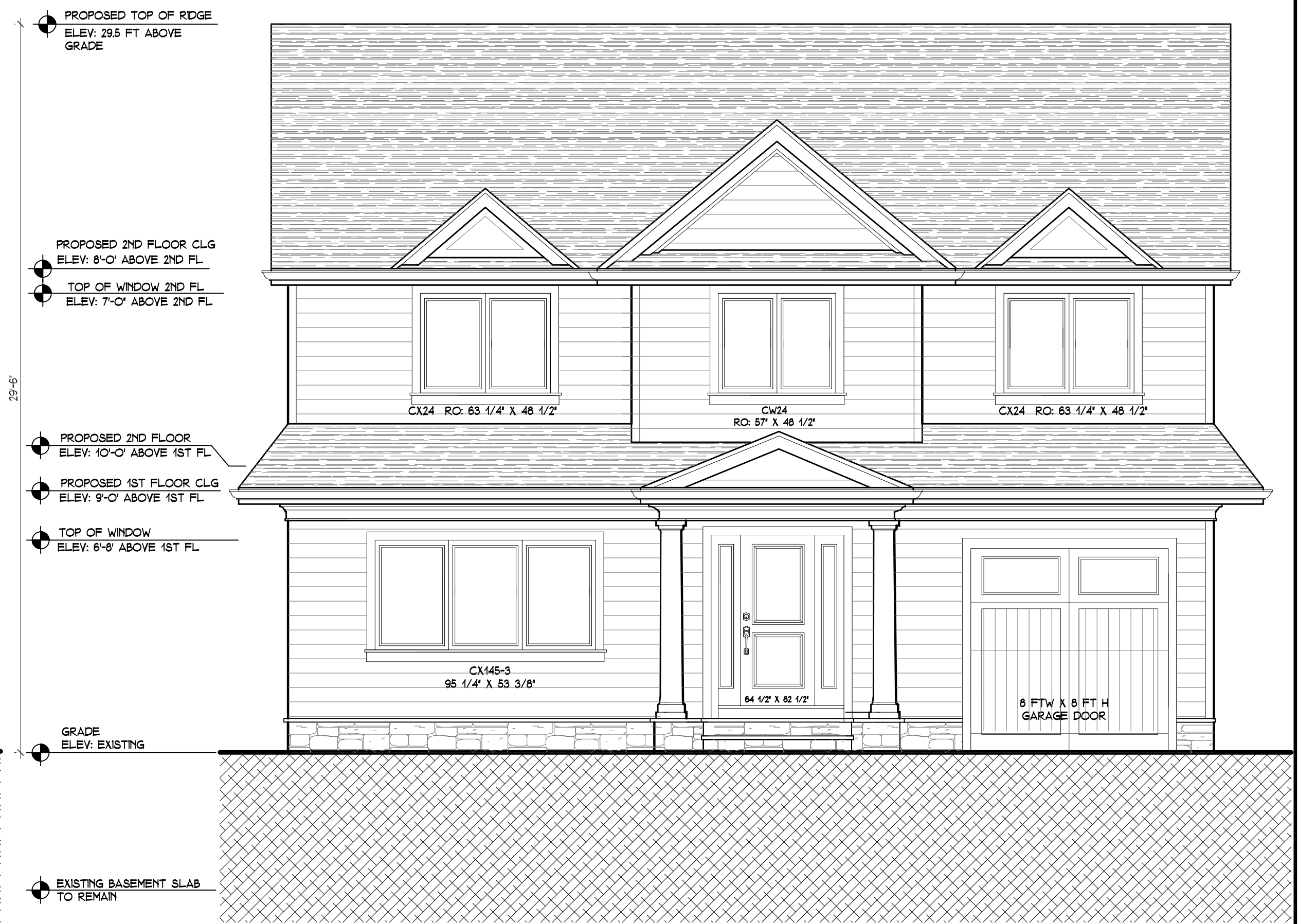
A-02



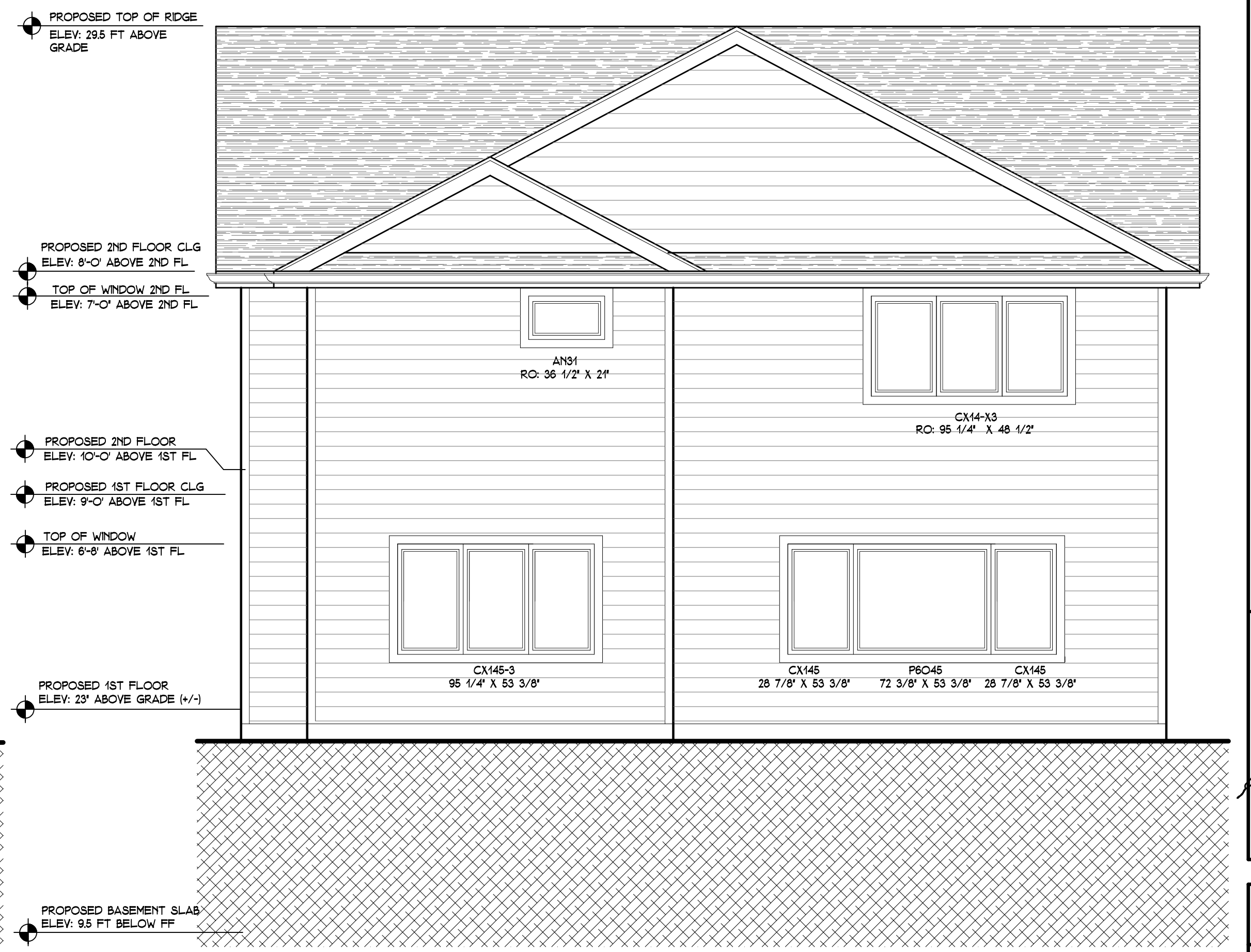
2 LEFT ELEVATION
A-03 SCALE: 1/4" = 1'-0"



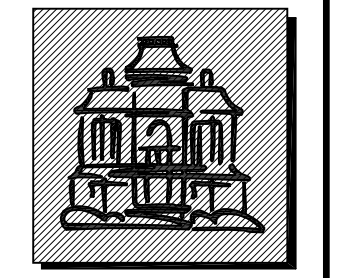
4 RIGHT ELEVATION
A-03 SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION
A-03 SCALE: 1/4" = 1'-0"



3 REAR ELEVATION
A-03 SCALE: 1/4" = 1'-0"



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2-15-20	RESUBMISSION FOR ZONING BOARD OF ADJUSTMENTS	
5-11-20	RESUBMISSION FOR ZONING BOARD OF ADJUSTMENTS	

PROPOSED ADDITION/RENOVATION
TO EXISTING SINGLE FAMILY RESIDENCE
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REV	DATE	DRAWN BY
5-11-20		JR

A-03