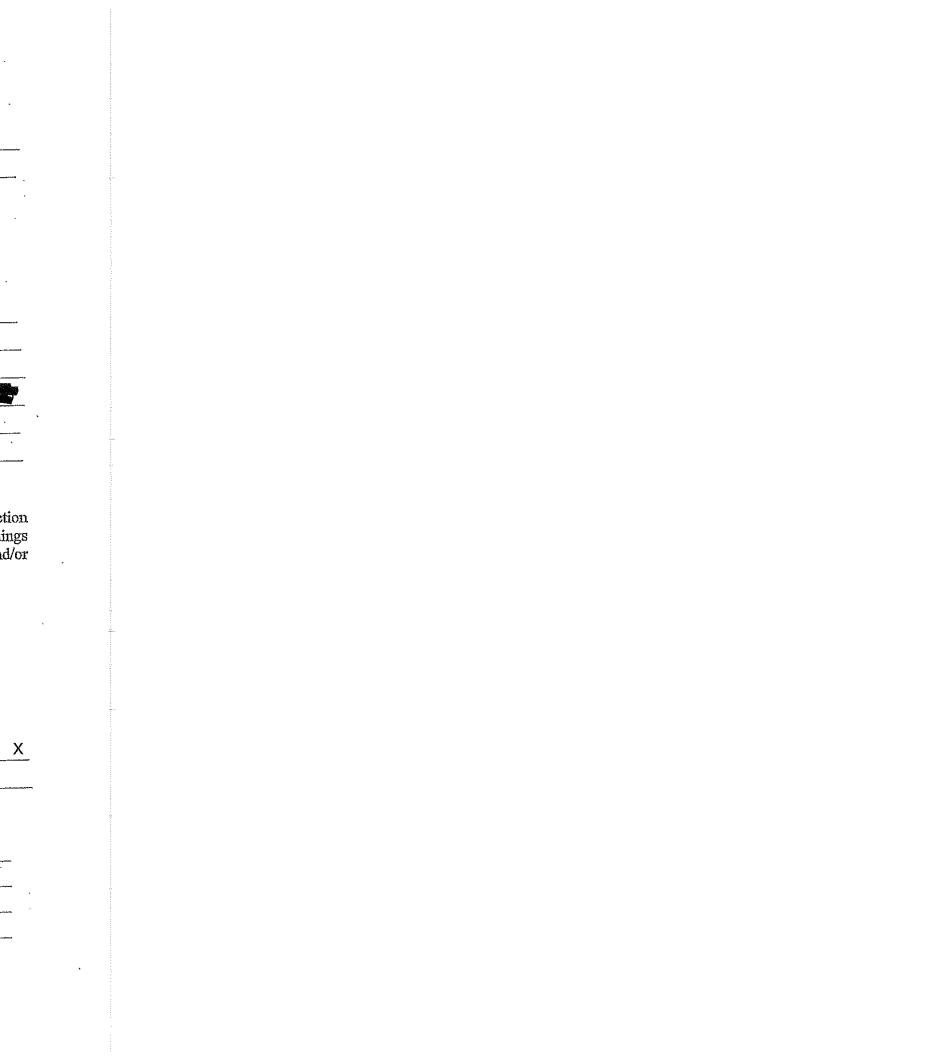
	•
FILE NO.	DATE
OATE OF HEARING	DISPOSITION
BOAF MUNICIPAL BU	ND OF ADUSTMENT JILDING, BERGENFIELD, N.J.
APPLICATION OF REQUIREMENT	N FOR VARIATION/APPEAL IS OF ZONING ORDINANCE 1123
APPLICANT'S NAME avram zam	iist
ADDRESS 16 Glenwood Drive No	rth
OWNER'S NAME _ KAZ Developr	ment Group LLC
OWNER'S ADDRESS 745 Downing	St. Teaneck, NJ 07666 PHONE#
	FED I.D. # or S.S. #
Applicant will be represented at public b	nearing by avram zamist Sean McLellan
TO THE BOARD OF ADJUSTMENT:	
TO THE DOLLER OF THE OF THE	
Application is hereby made for a (s) and for from the roof the Zoning Ordinance in accordance	variation/appeal from the requirements of Section equirements of the Scheduled Limiting Bulk of Buildings be with plans and specifications attached hereto and/or
Application is hereby made for a (s) and /or from the roof the Zoning Ordinance in accordance decision of Zoning Officer. The location NUMBER:	variation/appeal from the requirements of Section equirements of the Scheduled Limiting Bulk of Buildings be with plans and specifications attached hereto and/or n of this property is at
Application is hereby made for a (s) and /or from the roof the Zoning Ordinance in accordance decision of Zoning Officer. The location NUMBER: 16 DESIGNATED AS Block (s) 291	variation/appeal from the requirements of Section equirements of the Scheduled Limiting Bulk of Buildings be with plans and specifications attached hereto and/or in of this property is at and lot (s) and lot (s)
Application is hereby made for a (s) and /or from the roof the Zoning Ordinance in accordance decision of Zoning Officer. The location NUMBER: 16 DESIGNATED AS Block (s) 291 On the Assessment Map of the Borough	variation/appeal from the requirements of Section equirements of the Scheduled Limiting Bulk of Buildings be with plans and specifications attached hereto and/or in of this property is at and lot (s) and Bergenfield.
Application is hereby made for a (s) and /or from the nof the Zoning Ordinance in accordance decision of Zoning Officer. The location NUMBER: 16 DESIGNATED AS Block (s) 291 On the Assessment Map of the Borough ZONING DISTRICT R 5	variation/appeal from the requirements of Section equirements of the Scheduled Limiting Bulk of Buildings be with plans and specifications attached hereto and/or in of this property is at and lot (s) 17 of Bergenfield.
Application is hereby made for a (s) and /or from the roof the Zoning Ordinance in accordance decision of Zoning Officer. The location NUMBER: 16 DESIGNATED AS Block (s) 291 On the Assessment Map of the Borough ZONING DISTRICT R 5	variation/appeal from the requirements of Section equirements of the Scheduled Limiting Bulk of Buildings be with plans and specifications attached hereto and/or in of this property is at and lot (s) 17 and Bergenfield. EA LOT FRONTAGE
Application is hereby made for a (s) and /or from the note of the Zoning Ordinance in accordance decision of Zoning Officer. The location NUMBER: 16 DESIGNATED AS Block (s) 291 On the Assessment Map of the Borough ZONING DISTRICT R 5 VARIANCES REQUIRED: LOT ARI	variation/appeal from the requirements of Section equirements of the Scheduled Limiting Bulk of Buildings be with plans and specifications attached hereto and/or in of this property is at and lot (s) 17 of Bergenfield. EA LOT FRONTAGE RD X REAR YARD X SIDE YARD X
Application is hereby made for a (s) and /or from the not the Zoning Ordinance in accordance decision of Zoning Officer. The location NUMBER: 16 DESIGNATED AS Block (s) 291 On the Assessment Map of the Borough ZONING DISTRICT R 5 VARIANCES REQUIRED: LOT ARI	variation/appeal from the requirements of Section equirements of the Scheduled Limiting Bulk of Buildings be with plans and specifications attached hereto and/or in of this property is at and lot (s) 17 and Bergenfield. EA LOT FRONTAGE



DESCRIPTION OF PROPERTY

1. SIZE OF LOT IRR X IRR 2. SQUARE FEET IN LOT 5,781
3. SIZE OF PRESENT BUILDING X 4. STORIES 2
X
5 TOTAL AREA 1280 SO. FT. 6. NUMBER OF ROOMS 4
7. PRECENTAGE OF PROPERTY NOW OCCUPIED BY ALL BUILDINGS 22.1 %
8. PRESENT OCCUPANCY OF BUILDING OR PROPERTY
Vacant single family home
9. ARE THERE ANY DEED RESTRICTIONS ON THE PROPERTY? YES
NO X (If yes, provide a copy of same)
10. CHARACTER OF BUILDINGS WITHIN 200 FT. OF PROPERTY
Single family homes
11 THAS THERE BEEN ANY PREVIOUS APPEAL INVOLVING THESE PREMISES?
YES NO X
DISPOSITION
12. ARE THERE ANY EXISTING VIOLATIONS OF THE ZONING ORDINANCE?
VES X NO (IF SO, EXPLAIN)
Exisiting Imp Coverage 45.7 % Existing side yard setback
13. IS THIS, OR ANY PART OF THIS PROPERTY IN THE FLOOD ZONE?
YESNO_X
14. DOES THIS PROPERTY BORDER ON ANY COUNTY ROAD?
MO X
15. DOES THIS PROPERTY BORDER WITHIN 200 FT. OF ANY OTHE
MUNICIPALITY?
YESNO_X

DESCRIPTION OF PROPOSED CHANGES

7,	SIZE OF NEW ADDITION _	X		SQ. FT.	
	AREA	HEIGHT			
3.	SIZE OF NEW BUILDINGS	7	ζ	SQ. FT.	
-	1897 sqf AREA 29.8	HEIGHT		•	
)	PRECENTAGE OF PROPER	TY TO BE	OCCUP.	ED BY ALL B	UILDINGS
•	20.0	%		•	
٥.	NUMBER OF FAMILES/PE	RSONS TO	BEPRO	VIDED FOR	1
	ے اس	(فيوا پايت بيزي کنام مسترخه شدر پايت پايت بيد سند په		و على أيمار إنهار جون فيض أيمار ومن جون فيض المناز بعن أيمار أيمار أيمار أيمار أيمار المناز المناز المناز المناز	الله المناسمة ومن المنار المنا

NOTE: ALL APPLICATIONS MUST INCLUDE:

- 1. Completed Application Form with Affidavits of Accuracy and Ownership.
- 2. An accurate Location Survey listing location of all structures with dimension to property lines with proposal sketched onto survey or submitted separately.
- 3. Copy of letter of denial by Construction Code Official or Zoning Officer, if applicable.
 - ALL APPLICATIONS MUST BE FILED NO LESS THAN 30 DAYS PRIOR TO HEARING DATE.
 - ALL PROOFS OF SERVICE, PUBLICATION, AND CERTIFICATE OF TAXES PAID MUST BE COMPLETED AND FILED WITH THE CONSTRUCTION CODE OFFICAL NO LESS THAN TEN (10) DAYS PRIOR TO THE HEARING DATE.
 - ALL RETURN RECEIPTS MUST BE SUBMITTED PRIOR TO HEARING.

By order of the Board of Adjustment of Bergenfield AFFIDAVIT BOARD OF ADJUSTMENT OF THE BOROUGH OF BERGENFIELD

STATE OF NEW JERSEY COUNTY OF BERGEN BOROUGH OF BERGENFIED	SS:	Avram Zamist Name of Applicant
Avram Zamist	The state of the s	_being dully sworn deposes
and says: that he resides at nu	ımber <u>745</u>	Downing St in the state of
Teaneck, New Jersey_, and	says that he	is the appellant making appeal
for a variation/appeal of the p	rovisions of	the Provisions of the Zoning
Ordinance of the of the Borou	igh of Bergei	nfield in connection with the
property which is the subject	matter of th	is appeal and known as
number 16 designa	ited as Block	<u>291</u> and Lot <u>17</u> on
the Assessment Map of the B	orough of Be	ergenfield. That all statements
made in this application, and	statements	made in the plans submitted
horowith are true. The applic	cant further	states that he is ready and able
to proceed with the construc	tion if and w	when the application is granted.
Sworn to me this25 day ofFebruary2 Sward C. Audley	0 22	Applicant
Notary Public		Applicant
		the sector with

Note: All partnerships and corporations must supply a list of stockholders with a 10% or greater share, they must also be represented by an Attorney at the hearing.



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AFFIDAVIT OF OWNERSHIP

· '9

	STATE OF NEW JERSEY, COUNTY OF BERGEN	SS:
	Avram Zamist	of full age, dully sworn according 745 Downing St. Teaneck, NJ 07666 in the
•	to the law, deposes and says	that he resides at
	Borough of Bergen	in the country of United States in
	the State of New Jersey	that he is the owner in fee of real property
.'	lying in the Borough of Berg	enfield, known and designated as number
16	Glenwood Drive North and the h	ne hereby authorizes Self to
•	make the within application application are true.	in his behalf and that the statements in the said
	Sworn to before me this	
		Owner
	Susanc. Mulle Public Notary	

Note: all partnership and corporations must supply a list of stockholders with a 10% or greater share, that they must also be represented by an Attorney at the hearing.







TAX COLLECTOR'S CERTIFICATION PAYMENT OF PROPERTY TAXES

Date	1/19/202				
Block_	291	Lot	17	Address_	16 Glenwood Drive North
		avram z			
				St. Teaneck, N	J 07666
			,		ber
				Board of Adj	
				Building Dep	partment Permit
Descri	New c	Vork to be construction	n. Sing	gle family home	e
,	<u> </u>			-	
Office (From t	prior to rec he building	ceiving plac g departme	cement ent for a	on the agenda o construction or o	n a certification from the Tax Collector's of any board and / or receiving a permit certificate of occupancy. "No Exceptions" ***************
	fice Use (
Tax Cu	irrent_ V	Yes		No Last C	Quarter Paid On: 11/4/2021 (Printout Attached)
Tax Co	ollector/D	eputy Tax	Collec	tor Certificatio	on:
JL	JAN C OF	₹TIZ		•	·1/27/21
					Date:
Certifi	ication Nu	ımber	T-845	4	

CONSTRUCTION CODE DEPT. (201) 387-4055 EXT. 1-4092 FAX: (201) 385-7376

BOROUGH OF BERGENFIELD

198 NORTH WASHINGTON AVENUE BERGENFIELD, NEW JERSEY 07621

January 13, 2022

Avram Zamist 16 Glenwood Dr - North Bergenfield, NJ 07621

RE: New Single Family House

Dear Mr. Zamist

Your application for the new single family house has been denied. The application has been denied for the following reasons.

- Improved lot coverage required 40%, proposed 44.8%
- Required front yard 25 ft, proposed 18 ft
- Required side yard 5 ft, proposed 3.4 ft
- Required total side yard 10 ft, proposed 8.4 ft
- Required rear yard 25 ft, proposed 13.6 ft
- There is no variance required for lot coverage. Required lot coverage 35%, proposed 32.8%

You have the right to appeal my decision to the Zoning Board. You may also contact the Building Department to obtain the proper applications.

If you have any question on the above matter, please contact our office. You can call the Building Department at 201-387-4055 Ext. 4

Sincerely,

Michael Ravenda Zoning Officer

tbz

ADDITION AND RENOVATION FOR 16 GLENWOOD DR., BERGENFIELD, NJ

APPLICABLE CODES

- INTERNATIONAL RESIDENTIAL CODE, NJ EDITION 2018
- 2. INTERNATIONAL MECHANICAL CODE (IMC 2018)
 3. NATIONAL STANDARD PLUMBING CODE, NJ ED. 2018
 4. NATIONAL ELECTRICAL CODE (NFPA 76) / 2017

- 5. INTERNATIONAL FUEL GAS CODE 2018
 6. INTERNATIONAL ENERGY CONSERVATION CODE 2018

STREET LOCATION	16 CLENWOOD AVE., BERGENFIELD, NJ 07621
SECTION (BLOCK)	293
LOT	14
USE GROUP	R-5
PERMITTED USE	PERMITTED USE
NO. OF STORIES	2
TYPE OF CONSTRUCTION	58

	NEW CONSTRUCTION	
BASEMENT	1,435 SF	
FIRST FLOOR	1,718.4 (INC. GARAGE)	7 400 0 CF
SECOND FLOOR	1,761.6	3,480.0 SF

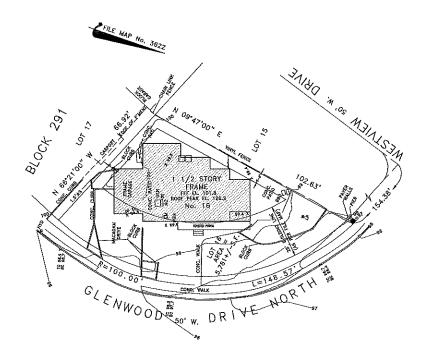
PORCH ADDITION: 179 SF

VOLUME 43,029.5 CU.FT.

INDEX OF DRAWINGS:

- A-1 PROJECT DATA, NOTES AND RISER DIAGRAMS
- A-2 PROPOSED FLOOR PLANS
- A-3 EXTERIOR ELEVATIONS

ATIONS	DRAWING NOTATION
ABOVE FINISH FLOOR ALUMINUM	<u>۸</u>
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COLUMN	· ·
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MAXIMUM	<u>~</u>
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REFER TO ENGINEER'S SHE PLAN FOR SITE WORK AND ZONING INFORMATION. PLOT PLAN

GENERAL NOTE

- 1. ALL WORK SHALL BE IN ACCORDANCE WITH BEST ACCEPTED TRADE PRACTICE, ALL MATERIAL OF BEST GRADE FOR THEIR PURPOSE. ALL WORK SHALL COMPLY WITH ALL APPLICABLE FEDERAL AND STATE LAWS, MUNICIPAL ORDINANCES, INTERNATIONAL BUILDING CODE 2000 AND NEW JERSEY UNIFORM CONSTRUCTION CODE.
- THE CONTRACTOR SHALL SECURE AND PAY FOR BUILDING PERMITS AND ALL OTHER FEES, LICENSES, CERTIFICATES OF INSPECTION AND APPROVAL NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE PROJECT.
- 3. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND FIELD MEASUREMENT IN FIELD BEFORE START OF WORK. HE SHALL BE GUIDED AT ALL TIMES BY DIMENSIONS SHOWN ON PLANS NOT BY SCALING OF DRAWINGS AND RESPONSIBLE TO NOTHEY THE ARCHITECT OF ANY DISCREPANCIES OR NON-CONFORMITIES IN DRAWINGS AND SPECIFICATIONS.
- 4. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS AND CODES NECESSARY TO ADEQUATELY PROJECT ALL PERSONS AND PROPERTY FROM INJURY, DAMAGE OR LOSS, HE SHALL INSTALL AND MAINTAIN ALL REASONABLE SAFEGUAROS, NOTICES, BARRIERS, SCAFFOLDING, LADDERS AND PRECAUTIONS REQUIRED TO PROVIDE ALL PROTECTION.
- THE CONSTRUCTOR SHALL PROTECT ALL WORK AND EQUIPMENT TO REMAIN AT THE SITE AND SHALL BE IN RESPECT OF ALL WORK ADHERE TO OSHA REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS FROM THE CONSTRUCTION SITE IMMEDIATELY AFTER COMPLETION OF THEIR WORK IN SAFE AND LEGAL MANNER.

PROJECT

16 GLENWOOD DR. NORTH BERGENFIELD, NJ 07621

ARCHITECT



JOON ARCHITECTURE AND DESIGN, LLC 21 GRAND AVE. #604B, PALISADES PARK, NJ 07650 (USE #625 FOR MAILING ADDRESS INSTEAD OF #604B)

DIRECT CONTACT: 732-586-2563 OFFICE: 201-496-6242 EMAIL: hcas2012@gmail.com

KEY MAP



REVISIONS:

0	12/20/2021	ZONING APPLICATION
No:	Date:	Description:

DRAWING

PROJECT DATA. PLOT PLAN AND NOTES

PROJECT NUMBER

21-0421-01

SCALE 11.02.2021 AS NOTED

DRAWING NUMBER

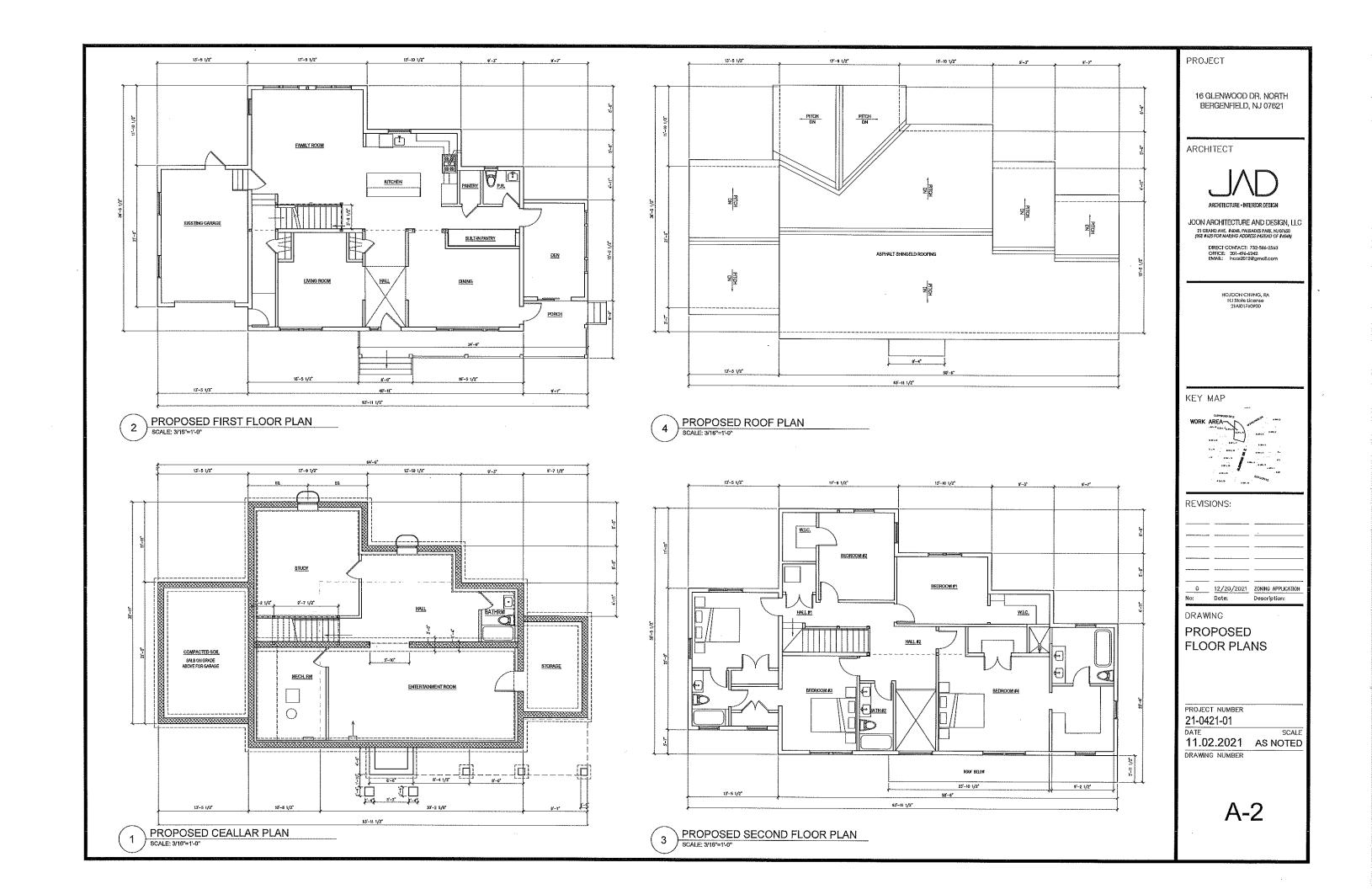
A-1

BOROUGH OFFICIAL'S APPROVAL

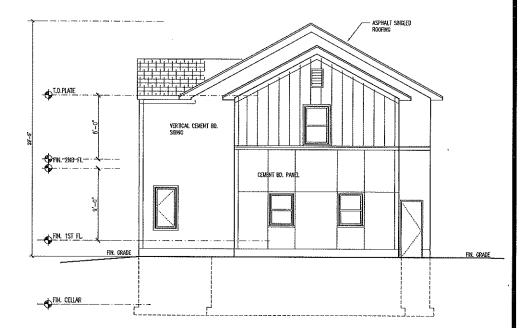
CHAIRMAN:

SECRETARY:

BOARD ENGINEER:







FRONT ELEVATION

LEFT SIDE ELEVATION



REAR SIDE ELEVATION

T.O.PLATE TO PLATE TO PL	WAYL S	ASPHALT SHRIGED ROVERGE STATES AND ASPHALT SHRIGHT	FIN. GRADE
3-E			THE GARGE
FIN CELLAR			

RIGHT SIDE ELEVATION

PROJECT

16 GLENWOOD DR, NORTH BERGENFIELD, NJ 07621

ARCHITECT



JOON ARCHITECTURE AND DESIGN, LLC

HOJOON CHUNG, RA NJ State ticense 21AK(1760)00

KEY MAP



REVISIONS:

	0 No:	12/20/2021 Date:	ZONING APPLICATION
ı			
ı			***************************************
ı			
ı			

DRAWING

PROPOSED **ELEVATIONS**

PROJECT NUMBER 21-0421-01

DATE 11.02.2021 AS NOTED

DRAWING NUMBER

SCALE

A-3

		Residentiai R-5 Zoi	16	
	Required	Existing	Proposed	Variance Required
Lot Area	5,000 sf	5,781 sf	5,781 sf	No
Lot Width	50 ft	102.77 ft	102.77 ff	No
Setbacks				
Front Yard	25 ft	23.9 ft	18.0 ft	Yes*
Side Yard	5 ff	20.0 ft	3.4 ft	Yes
Side Yard	5 ff	4.8 ft	5.0 ft	No***
Rear Yard	25 ft	25.4 ft	13.6 ft	Yes
Bldg. Height	30 ft/2 sty	20.5 ft	29.8 ft	No
Lot Coverage	30%	1280 sf/22.1%	1897 sf/32.8%	Yes
Imp. Coverage	40%	2644 sf/45.7%	2591 sf/44.8%	Yes**

-		
×	Existing	Non-conformity

** Existing Non-conformity to be lessoned.

*** Existing Non-conformity to be removed.

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		Exist. Gr
be'		10
		10 99
		99
		Avg. E Peak E
\dashv		Peak E
\dashv		
		Bldg. H
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	PEAK	
ound Elev. .9 0.0 .4	EL 129.5	0
ev. 99.7	AVG. NATURAL-99.7	_
ev. 129.5	BUILDING UEIGUE	
gt. 29,8'	BUILDING HEIGHT	
g.,10	CALCULATION	
	. N.T.S.	

Soll Moving Requirements	
Basement	4
Area = 1478 sf Area w/1.5' overdig = 1748 sf	
Avg. Cut = 6.5 ft Cut = (1748 st)(6.5 ft)= 421	
Credit for exist, dwelling Bsm't area= 884, Depth= 5.5' (884 sf)(5.5 ft) = 180 yds	
Total Cut = 421 - 180	241 yds cut
Backfill = (1748-1478)(6.5)	65 yds fill
Garage Foundation 48 L.ft	
(48 ft)(4,5)(4,5)	36 yds cut
Backfill (2/3)(36)	24 yds fill
Seepage Pils	48 yds cut
	8 yds fill
Total Cut	325 yds cut
Total FIII	97 yds fill
Net Soll Removed from Site	228 yds

DRAW PAG	YSTRING RUANNING THROUGH
FABRIC STCURED TO FOST FABRIC STCURED TO FOST FABRIC STCURED TO FOST FABRIC STCURED TO FOST FASTENER AND FABRIC GRADE BURY BOTTOM 1'-0" " TRONGS, SAMP IN FLACE	2'-0" SILT FENCE DETAIL N.T.S.

LOT COVERAGE CALCULATIONS

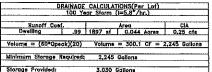
EXISTING		PROPOSED	
DWELLING	958 sf	DWELLING	1761 sf
GARAGE	322	PORCHES	136
TOTAL	1280 sf = 22.1%	TOTAL	1897 sf = 32.8%

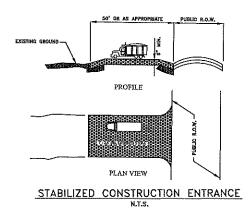
CONC. WALK/PATIO,Misc DRIVEWAY TOTAL	855 509 2644 sf = 45.7%	WALK/STEPS AC PADS DRIVEWAY TOTAL	124 16 554 2591 sf = 44,8
--	-------------------------------	--	------------------------------------



PAVER WALK/PATIO DETAIL

	OU Ye	CALCULA or Storm	{[=5.8"/]	IC.)	
Runoff Coaf.			Ared		CIÁ
Dwelling	.99	1897 af	0.044	Agres	0.25 of
Volume = (60°Qpeck	1/201	Volume	= 300.1	CF =	2,245 Gallo
A apaca	,,,	1010111	_ 00011	W1	212 10 00110
Minimum Storage Rec	ulped:	2 245	Collons		





NOTES:

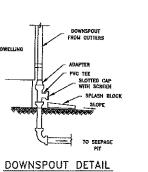
- 1. Applicant: Avram Zamist
 2. Property address: 16 Glenwood Drive North, Bergenfield, NJ.
 3. Property known as Block 291, Lots 16 in accordance with the Tax Assessment Map of the Borough of Bergenfield.
 4. Property is located in the Residential R-5.
 5. Elevations based on an assumed datum.

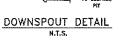
- 6. Existing spot elevations indicated with an X. Proposed spot elevations in [].
 7. Underground utility locations to be verified and marked—out in the field prior to commencement of construction activities.
- 8. Existing utility connections from previous structure are to be inspected. If
- same are not in acceptable condition, new service connections shall be installed in accordance with Borough specifications.

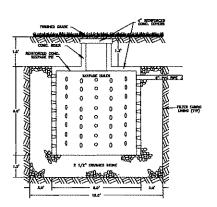
 9. Roof drains shall be connected to proposed seepage pit as shown.

 10. The applicant shall be responsible for the replacement of any curbing or pavement damaged or destroyed as a result of construction activities or in disrepair as determined by the Borough Engineer. The applicant shall be responsible to immediately remove any soll tracked or washed onto the street.

 11. Survey and topography performed by Lantelme, Kurens and Associates on February 1, 2021.







1000 GALLON SEEPAGE PIT DETAIL N.T.S.

 Lantelme, Kurens & Associates, P.C	. Engineers & Land Surveyors
101 West Street, P.O. Box 486, Hillsdale, New Jers	ey 07642 (201) 666-2450

	101 West Street, P.O. Box 486, Hillsdale, New Jersey 07642	(201) 666-2450	
Scale: I'=20' Date: August 19, 2021 Party: GB/DC PREPARED BY: CJL	SITE PLAN FOR AVRIM ZAMIST Lot 16 Block 291 16 Glenwood Drive North Borough of Bergenfield, Bergen County, N.J.	CERTIFIED TO:	
DRAWN BY: SPM LOT NO. 16	PROPERTY SITUATED IN THE BOROUGH OF BERGENFIELD BERGEN COUNTY, NEW JERSEY.		
BLOCK NO. 291 FILE NO. SPI6GLENWOOD	MAP SOURCE: TAX ASSESSMENT MAP OF THE BOROUGH OF BERGENFIELD, BERGEN COUNTY, NEW JERSEY.	Christopher Lantelme P.E. & L.S. 39580	

