

BOROUGH OF BERGENFIELD
APPLICATION FOR SITE PLAN APPROVAL

1. Applicant's name Boris Medvedch Phone (H) 201.385.3788
(B) C/O M. MADDAIO, 29 LEGION DR.
Applicant's address C/O M. MADDAIO, 29 LEGION DR.
2. Name of present owner, if other than #1 _____
3. Location of property 381-385 N. Prospect
4. Block(s) 300 Lot(s) 33+34 Zoning district R-5
5. Structural plans Yes ___ No X Front Elevation Yes ___ No X
6. Name of development, if any _____
7. Are all lots to be approved owned by same person, corporation, or partnership? Yes X No ___
8. If answer to #7 is no, give names of all owners.
L 33 owned by Partnership of B'ld corp; L 34 owned by Boris Medvedch * of B'ld *
9. Proposed uses of land and buildings
A. Multiple family dwelling structures _____
Number of dwelling units _____
B. Commercial Use _____ C. Industrial Use _____
D. Other HOUSE OF WORSHIP
10. If 1, 2 or 9 is in the name of a partnership or corporation, list name and address of the attorney who will represent the applicant. M. MADDAIO
29 LEGION Phone 201 385.3788
11. Name of architect/engineer/surveyor MIKE HUBSCHMAN
Address _____
Phone 384.5666
12. Name & Address of site planner if other than #11 _____
Phone _____
13. Land area sq. ft. 35752 Landscape area sq. ft. _____
Impervious surface area sq. ft. 65%
All figures are combined
14. Building area sq. ft. same structure height 27.90
stories _____
15. Parking spaces required 10 parking spaces
provided 10

* LOTS CAN NOT BE MERGED. DIFFERENT OWNERS AND DIFFERENT LENDERS. APPLICATION MUST MAINTAIN SAME AS SEPERATE BUT IN COMMON USE.

16. Parking space dimensions, Width _____ Length _____ Driveway
aisle width _____ Angle of parking: Parallel _____ 45
_____ 60 _____ 90 _____ UNCHANGED
17. Loading space(s) required _____ Proposed loading
spaces _____ UNCHANGED
18. Loading space dimensions Width _____ Length _____
19. Are any new signs proposed Yes _____ No X
20. Existing signs, None _____ Will Remove _____ To Remain
_____ Renovate _____
21. Are there any deed restrictions in force on this
property? Yes X No _____ If yes, include a copy
of the deed. JUDGED DRIVEWAY WITH 391 S. PROSPECT
22. Is this or any part of this property in flood zone?
Yes _____ No X
23. Does this property border any county road? Yes X No _____
24. Are there presently any utilities to this property?
Gas, ✓ Electric, ✓ Storm drains, ✓
Telephone, ✓ Cable TV, ✓ Sanitary Sewers, ✓
25. Is this property within 200' of any other municipality?
Yes _____ No X
26. Are any variances required because of this application?
Yes _____ No X
27. If answer to #26 was yes, state all variances required.
Use _____ Lot area _____ Lot frontage _____
Front yard _____ Side yard _____ Rear Yard _____
Total side yard _____ Parking _____ Buffer _____
Other _____
28. Has a previous variance application been filed on this
property? Yes X No _____
29. Is this application filed because of existing zoning
violation? Yes _____ No X (PARTIAL VARIANCE, NOT
YET APPROVED)

All questions must be answered or this application may be
deemed to be incomplete.

I, certify the above information and documents accompanying
this application are true. (Willfully false statements are in
violation of the law).

Signature of Applicant _____ Date 7/20/21 Signature of Owner if _____ Date 7/22/21
other than applicant

[Signature]
Vice President of
Bais Medrash

Vice President of
Bais Medrash

AFFIDAVIT OF OWNERSHIP

STATE OF NEW JERSEY, SS:
COUNTY OF BERGEN

Daniel Barzideh, Vice Pres.

Bais Medragh Syn, of full age, duly sworn
according to the law, deposes and says that he resides at
78 JOHN PI in the Borough of Bf10
in the County of Bergen in the State
of New Jersey that he is the owner in fee of real
property lying in the Borough of Bergenfield, known and
designated as number 381 / 585 B. Prospect and that he
hereby authorizes Mark D. Madaio, Esq. to make the
within application in his behalf and that the statements in
the said application are true.

SWORN TO BEFORE ME THIS 28
DAY OF July ~~20~~ 2021

Mark D. Madaio
Owner

[Signature]
Notary Public
M. Madaio
acts as Notary

Note: All partnerships and corporations must supply a list of stockholders with a 10% or greater share. They must also be represented by an Attorney at the hearing.



BOROUGH OF BERGENFIELD

198 NORTH WASHINGTON AVENUE
BERGENFIELD, NEW JERSEY 07621

CONSTRUCTION CODE DEPT.
(201) 387-4055 EXT. 1-4092
FAX: (201) 385-7376

July 27, 2021

Bais Medrash of Bergenfield
c/o M. Madaio
29 Legion Dr
Bergenfield, NJ 07621

RE: Alteration/ Addition – 385 South Prospect

Dear Mr. Madaio

Your application for the alteration/ addition at 385 South Prospect Ave has been denied for the following reason:

- Amended site plan approval. Must seek approval from the Planning Board.

You have the right to appeal my decision to the Zoning Board. You may also contact the Building Department to obtain the proper applications.

If you have any question on the above matter, please contact our office. You can call the Building Department at 201-387-4055 Ext. 4

Sincerely,


Michael Ravenda
Zoning Officer

tbz

PROPERTY OWNERS WITHIN 200 FT. RADIUS			
Fig. No.	Owner Address	Fig. No.	Owner Address
Fig. No. 1	Owner: DANIELA BORD	Fig. No. 18	Owner: MRS. J. BORD
Fig. No. 2	Owner: DANIELA BORD	Fig. No. 19	Owner: MRS. J. BORD
Fig. No. 3	Owner: DANIELA BORD	Fig. No. 20	Owner: MRS. J. BORD
Fig. No. 4	Owner: DANIELA BORD	Fig. No. 21	Owner: MRS. J. BORD
Fig. No. 5	Owner: DANIELA BORD	Fig. No. 22	Owner: MRS. J. BORD
Fig. No. 6	Owner: DANIELA BORD	Fig. No. 23	Owner: MRS. J. BORD
Fig. No. 7	Owner: DANIELA BORD	Fig. No. 24	Owner: MRS. J. BORD
Fig. No. 8	Owner: DANIELA BORD	Fig. No. 25	Owner: MRS. J. BORD
Fig. No. 9	Owner: DANIELA BORD	Fig. No. 26	Owner: MRS. J. BORD
Fig. No. 10	Owner: DANIELA BORD	Fig. No. 27	Owner: MRS. J. BORD
Fig. No. 11	Owner: DANIELA BORD	Fig. No. 28	Owner: MRS. J. BORD
Fig. No. 12	Owner: DANIELA BORD	Fig. No. 29	Owner: MRS. J. BORD
Fig. No. 13	Owner: DANIELA BORD	Fig. No. 30	Owner: MRS. J. BORD
Fig. No. 14	Owner: DANIELA BORD	Fig. No. 31	Owner: MRS. J. BORD
Fig. No. 15	Owner: DANIELA BORD	Fig. No. 32	Owner: MRS. J. BORD
Fig. No. 16	Owner: DANIELA BORD	Fig. No. 33	Owner: MRS. J. BORD
Fig. No. 17	Owner: DANIELA BORD	Fig. No. 34	Owner: MRS. J. BORD
Fig. No. 35	Owner: DANIELA BORD	Fig. No. 36	Owner: MRS. J. BORD
Fig. No. 37	Owner: DANIELA BORD	Fig. No. 38	Owner: MRS. J. BORD
Fig. No. 39	Owner: DANIELA BORD	Fig. No. 39	Owner: MRS. J. BORD

UTILITIES

ZONING BOARD ATTORNEY: ARMAND P. LAZZARINO, Esq., 250 W. 4th Street, Newark, NJ 07102

Professional Engineer: GLEN A. COPP, Esq., 250 W. 4th Street, Newark, NJ 07102

Young, Mahan & Co., Inc., 140 South Street, Newark, NJ 07102

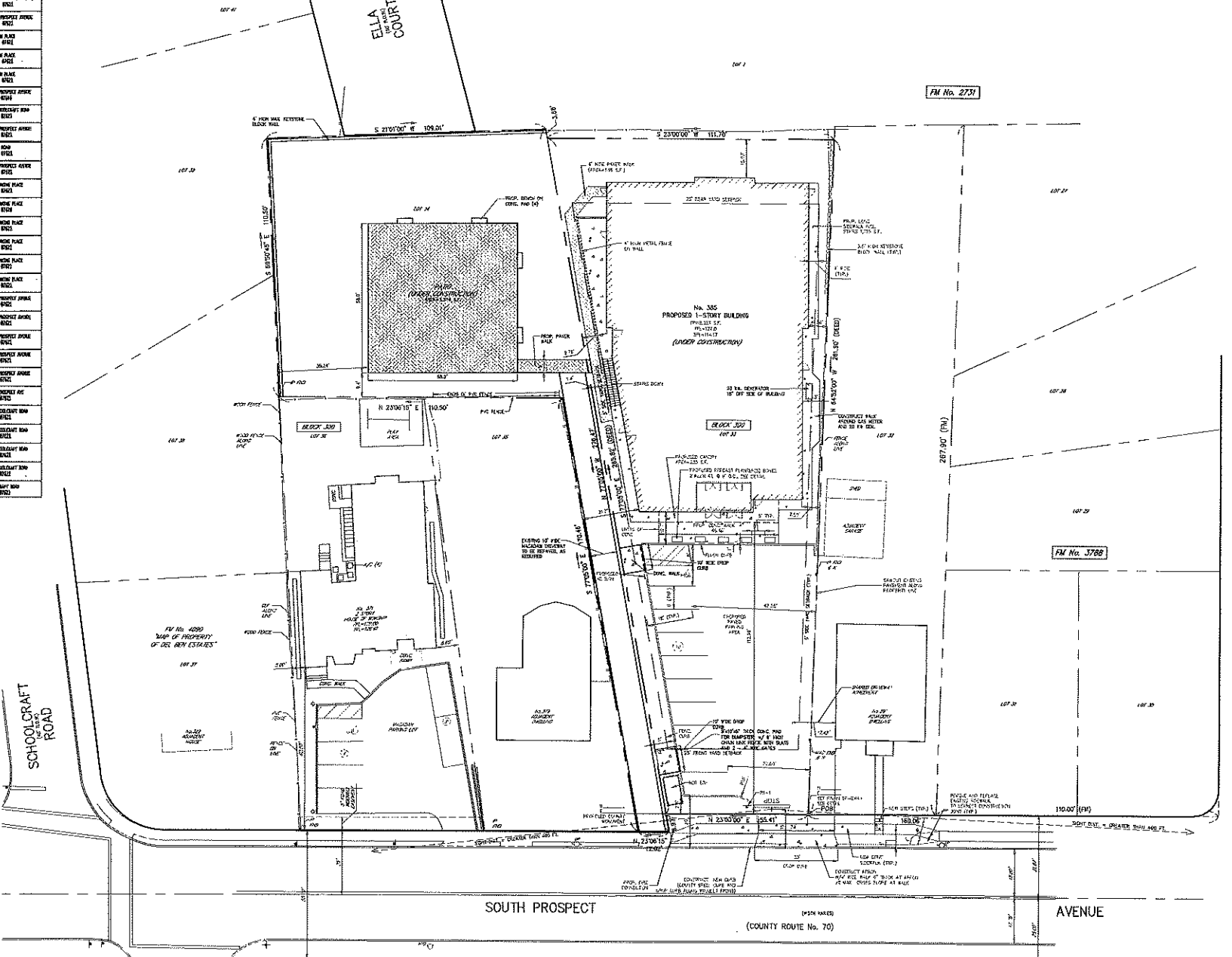
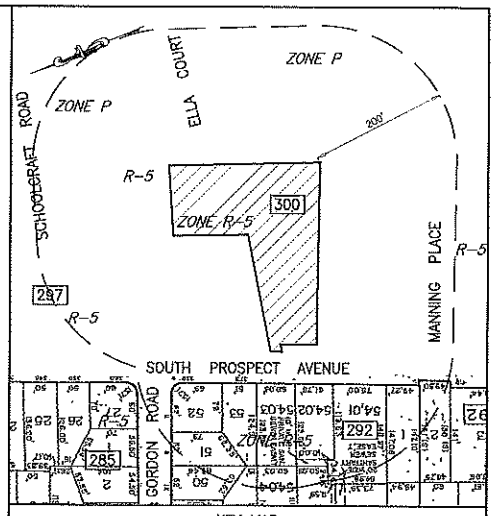
Map, Douglas Corporate Services, United Water Company, 900 North Broad Street, Newark, NJ 07102

City of Newark, 500 N. 1st Street, Newark, NJ 07102

General Manager, Colton & Co., 100 North Street, Newark, NJ 07102

American, Inc., Chief Engineer, Bergen County Health Authority, 100 North Street, Newark, NJ 07102

Perkins, South Bergen County Engineer, County of Bergen, 1 Bergen Place, New 433 Rockaway, NJ 07102



ZONING NOTES

ZONE R-5 PROPOSED USE: HOUSE OF WORSHIP

REQUIREMENT	AS SHOWN	AS REQUIRED
MIN. LOT AREA (100' SIDE)	15,000 S.F.	21,500 S.F.
MIN. LOT WIDTH	95.57 FT.	90.57 FT. (1)
MAX. LOT COVERAGE	40%	81.08% (1)
MAX. LOT COVERAGE	30%	43.71% (1)
MIN. FRONT YARD	25 FT.	122.89 FT.
MIN. SIDE YARD (SIDE)	5 FT.	7.50 FT.
MIN. SIDE YARD (FRONT)	10 FT.	17.26 FT.
MIN. REAR YARD	25 FT.	15.00 FT. (1)
MIN. PARKING SPACES	147	10 (1)
MAX. BUILDING HEIGHT	28 FT. / 2 STY.	37.50 FT. / 2 STY.
MAX. DRIP CURB (100' SIDE)	20 FT.	30 FT. (1)

(1) VARIANCE APPROVED UNDER 2016 APPROVAL.
(2) EXISTING 100'-CONFORMING CONDITION BEING DECREASED.

PARKING NOTES

ASBESTOS (M-1) SAMPLE PER VENT 2 SAMPLES REQUIRED
PROP. SEAT: SANITARY = 204 SEATS/2 = 147 SPACES REQUIRED

- REFERENCES**
- 1) VBOOK 1654, PG 1085 (LOT 33)
 - 2) DEED BOOK 9543, PG 446 (LOT 36)
 - 3) A CERTAIN MAP ENCLOSED "MAP OF PROPERTY OF DEL. BEN. ESTIMATES BERENGFELD, N.J." FILED IN THE BOOK AS MAP NO. 4099
 - 4) 81. FILED IN THE BOOK AS MAP NO. 3780
 - 5) BOROUGH OF BERENGFELD TAX MAPS.
 - 6) VBOOK 2565, PG 34 (LOT 34)
 - 7) VBOOK 464, PG 2164 (LOT 35)
 - 8) SURVEY OF LOT 35, BLOCK 300 BY J. THOMAS, P.L.S.
 - 9) SURVEY OF LOT 33, BLOCK 300 BY J. BEALY, P.L.S. DATED 1-24-14

GENERAL NOTES

1. LOT AREA = LOT 33 21,867.9 S.F. (5,502 AC)
LOT 34 13,884.5 S.F. (3,181 AC)
TOTAL 35,752.4 S.F. (8,683 AC)
2. ELEVATION BASED ON 1985 BENCH
3. CONTRACTOR TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
4. ALL DAMAGED CURBS AND STREETS TO BE REPAIRED BY CONTRACTOR TO BOROUGH STANDARDS.
5. STREET TO BE CLEARED OVERDAY IF NECESSARY.
6. THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE HUNDRED VERTICAL IN 12 HORIZONTAL (1:12) FOR A MINIMUM DISTANCE OF 8 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. THE PROCEDURE UTILIZED TO ESTABLISH THE FINAL GRADE LEVEL ADJACENT TO THE FOUNDATION SHALL ACCOUNT FOR ALL ADDITIONAL SETTLEMENT OF THE BASES.
7. CONTRACTOR TO UTILIZE EXISTING UTILITY CONNECTIONS WHERE FEASIBLE.
8. APPLICANT AND/OR CONTRACTOR SHALL CONTACT NEW YORK STATE DEPARTMENT OF PUBLIC WORKS INSPECTOR AT (201) 334-3445 PRIOR TO BEGINNING CONSTRUCTION AND WHEN CONSTRUCTION IS COMPLETE.
9. ANY PROPOSED PLANNINGS ALONG THE PROPERTY FRONTAGE WITHIN THE RIGHT OF WAY SHALL HAVE A MINIMUM HEIGHT OF THIRTY (30) INCHES OR LESS, MEASURED FROM THE DRIVEWAY PAVEMENT, TO ENSURE ADEQUATE SIGHT DISTANCE ALONG BERENGFELD ROAD.
10. ALL TRAFFIC SIGNS MUST CONFORM TO FACE DESIGN AND CONSTRUCTION TO SPECIFICATIONS FOUND IN THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, U.S.D.O.T. FEDERAL HIGHWAY ADMINISTRATION, SPECIFICALLY REGULATOR & REGULATOR SIGNS SHALL BE FABRICATED OF PLAST ALUMINUM SHEETS AND SHALL BE COVERED WITH DAMAGED GRADE REFLECTIVE SHEETING SERIES 4000 TYPE III REGISTRATION PER ASTM.
11. ROAD CROSSING PERMIT IS REQUIRED AND APPLICATION SHALL BE MADE TO THE BERGEN COUNTY OPERATIONS DIVISION AND FEES FOR THE SAME SHALL BE PAID AS SET FORTH THEREIN. A COPY OF SAID PERMIT SHALL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ECONOMIC DEVELOPMENT PRIOR TO ANY CONSTRUCTION ALONG COUNTY ROAD AND/OR WITHIN THE COUNTY'S RIGHT-OF-WAY.
12. ALL MATERIALS AND CONSTRUCTION PROVIDED BY ANY OF THE COUNTY OF BERGEN'S RIGHT-OF-WAY/ROAD CROSSING SHALL BE IN ACCORDANCE WITH CORRECTLY ADOPTED NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (2007 EDITION OR LATER) AS MODIFIED BY ANY SUPPLEMENTAL SPECIFICATIONS AND ADDENDUMS BY THE BOARD AND COUNTY OF BERGEN SPECIFICATIONS. THIS WORK INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING: SIGNATURES, REFERENCE MARKERS, CURBS, SIDEWALKS, DRIVE RAIL & END TREATMENTS, FENCES, RETAINING WALLS, STORM DRAINAGE PIPES, STORM DRAINAGE STRUCTURES, BRIDGES & CHANNELS AND BRIDGE/CONSTRUCTION EMISSIONS AND/OR CONNECTIONS SEEMED NECESSARY TO CONFORM TO ANY SPECIFICATIONS AND DETAILS SHALL BE THE RESPONSIBILITY OF THE PROJECT'S APPLICANT, DEVELOPER, CONTRACTOR AND/OR PROPERTY OWNER.
13. COUNTY SIGHT DISTANCE CRITERIA - THE DRIVER'S POSITION SHALL BE FIFTEEN (15) FEET BEHIND THE CURB LINE. THE DRIVER'S EYE LEVEL SHOULD BE SET AT A POINT THREE AND A HALF (3.5) FEET ABOVE THE DRIVEWAY PAVEMENT AND THE DRIVER SHOULD BE CAPABLE OF SEEING AN OBJECT TWO (2) FEET HIGH PLACED AT THE CENTER OF ALL LANES. DEPENDENT SIGHT DISTANCES REFLECT BARRIERS CLEAR SIGHT DISTANCE.
14. ANY EXISTING CURB AND SIDEWALK ALONG THE COUNTY ROAD FRONTAGE BE REMOVED AND REPLACED WITH NEW FULL HEIGHT CURB (8") AND SIDEWALK IN CONFORMANCE TO THE COUNTY ENGINEER'S DESIGN STANDARDS.
15. RELOCATION OF UNDERGROUND ELECTRICAL SERVICE THAT IS NECESSITATED BY ANY MODIFICATIONS/REMOVAL/RELOCATION OF UTILITY POLES IS THE RESPONSIBILITY OF THE PROPERTY OWNER, AND NOT THE COUNTY OF BERGEN.
16. THE PROJECT SHALL COMPLY WITH ALL THE REQUIREMENTS SET FORTH BY THE BERGEN COUNTY SOLID WASTE DISTRICT (N.J.S.A. 6:24-43) A COPY OF THE SOLID WASTE DISTRICT APPROVAL LETTER SHALL BE SUBMITTED TO THE COUNTY PLANNING BOARD.
17. ALL EXISTING OR PROPOSED STRUCTURES, CURBS AND HANDICAP RAMP MUST BE 20' CONSTRUCTED AND/OR RECONSTRUCTED TO MEET THE CURRENT REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA). THE DESIGN/CONSTRUCTION OF THE HANDICAP RAMP AND THE TYPE OF TYPICATED DRIVE CONSTRUCTION SHALL BE SPECIFIED & CERTIFIED BY THE MUNICIPAL ENGINEER OR HIS DESIGNEE, PURSUANT TO TITLE 22:16-8, THE COUNTY OF BERGEN WITHIN ROADWAYS BETWEEN CURB LINES OR EDGES OF ASPHALT AND IS NOT RESPONSIBLE FOR THESE IMPROVEMENTS.
18. ALL EXISTING AND CONCRETE AND COMBINED SIDEWALKS AT THE DRIVEWAY ENTRANCE/EXIT SHALL BE OF A TYPE, SIZE AND SO LOCATED AS NOT TO IMPED E SIGHT DISTANCE ALONG THE COUNTY ROAD.
19. CURB AND SIDEWALK SPECIFICATIONS ARE TO BE IN ACCORDANCE WITH THE BERGEN COUNTY ENGINEER'S DESIGN AND CONSTRUCTION PLAN STANDARDS.
20. ALL PAVEMENT IMPROVEMENTS/REPAIRS WITHIN THE COUNTY RIGHT-OF-WAY SHALL BE OF A REFLECTIVE THERMOPLASTIC MATERIAL APPLIED IN ACCORDANCE WITH BERGEN COUNTY DESIGN STANDARDS AND THE MANUFACTURER'S SPECIFICATIONS FOR APPLICATION.
21. ALL INLETS WITHIN THE COUNTY ROAD SHALL HAVE BICYCLE GRATES (CAMPELL PATTERN #2817), AND "H-E-C" CURB PIECES (CAMPELL PATTERN #2817) AND "H-E-C" CURB PIECES (CAMPELL PATTERN #2817) ALL GOODS AND PRODUCTS TO BE USED SHALL BE AMERICAN MADE, WHENEVER AVAILABLE, CONSISTENT WITH STATE STATUTE 60A:11-18.
22. ALL EXISTING TRAFFIC CONTROL SIGNS SHALL BE RESET AT THE TIME OF CONSTRUCTION AND NOT STOCKPILED.
23. APPLICATION SHALL PROVIDE THE COUNTY WITH REVISIONS DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO ANY CHANGES OR MODIFICATIONS NECESSITATED BY FIELD CONDITIONS.
24. DIVERSITY OF RECORD LOTS 33 & 34: 815 BERENGFELD OF BERENGFELD & BAS WEDRASH OF BERENGFELD HS CORP. 371 SOUTH PROSPECT AVENUE BERENGFELD, NJ 07821
25. SANITARY FLOOR: N.J.A.C. 11A4-2.3.3.3. 204 SEAT = 147 SEATS = 822 G.P.O.

I HEREBY CERTIFY THAT THE TAX PAYMENTS ARE CURRENT.

THIS IS TO CERTIFY THE COMPLETENESS OF THE ABOVE REFERENCED DEVELOPMENT APPLICATION

I HEREBY CERTIFY THAT ALL THE REQUIRED IMPROVEMENTS OF THIS SITE PLAN HAVE BEEN INSTALLED IN CONFORMANCE WITH ALL APPLICABLE ORDINANCES AND REGULATIONS

I HEREBY CERTIFY THAT ALL REQUIRED UTILITY PROVISIONS HAVE BEEN INSTALLED OR THAT A PERFORMANCE GUARANTEE HAS BEEN POSTED IN ACCORDANCE WITH THE SITE PLAN OR DIVISION

I CONSENT TO THE FILING OF THIS SITE PLAN

DATE: 7-30-18

SCALE: 1"=20'

APPLICANT: BAS WEDRASH OF BERENGFELD

ADDRESS: 371 SOUTH PROSPECT AVENUE BERENGFELD, NJ 07821

I HEREBY CERTIFY THAT I HAVE PREPARED THIS SITE PLAN AND THAT ALL DIMENSIONS AND OTHER INFORMATION SET FORTH ARE CORRECT.

DATE: 7-30-18

LOTS 33 & 34 BUILDING COVERAGE NOTE

BLDG. FOOTPRINT = 4,824 S.F.
COURTYD = 235 S.F.
TOTAL = 5,059 S.F. / 21,762.4 S.F. = 23.24%

LOTS 33 & 34 IMPROVED LOT COVERAGE CALC.

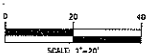
BLDG. COVERAGE	= 5,059 S.F.
DIMENSIONS & PARKING	= 4,112 S.F.
PROP. DRIVE, WALKS & STAIRS	= 2,256 S.F.
PROP. PAVEMENT & BENCHES	= 3,432 S.F.
PROP. PAVED & CONC. WALKS	= 212 S.F.
PROP. DRIVEWAY	= 80 S.F.
PROP. TO DRIVEWAY	= 1,825 S.F.
TOTAL	= 23,248 S.F. / 25,752.4 S.F. = 90.30%

PROPOSED HOUSE OF WORSHIP BUILDING HEIGHT CALC.

MIN. BLDG. HEIGHT	61.75 FT.
MIN. BLDG. HEIGHT	15.00 FT.
CRANE	27.50 FT.
HEIGHT	27.50 FT.

DRAWING SCHEDULE

3688-1	SITE PLAN
3688-2	GRADING, DRAINAGE & UTILITY PLAN
3688-3	CON. EXISTING & DETAIL CONSTRUCTION PLAN DETAILS
3688-4	STRUCTURE MANAGEMENT DETAILS
3688-5	LIGHTING & LANDSCAPING PLAN
3688-6	EXISTING CONDITIONS PLAN



ROBERT J. MUELLER
PROFESSIONAL LAND SURVEYOR
N.J. Lic. No. 37368

MICHAEL J. HUBSCHMAN P.E., P.P.
PROFESSIONAL ENGINEER AND PLANNER
N.J.P.E. No. 28497

7-30-18
DATE

NO.	REVISION	DATE	BY	CHKD.
1	ISSUE FOR PERMIT	7-1-18	RM	JHM
2	REVISED PERMITS	7-23-18	RM	JHM
3	REVISED PERMITS	7-23-18	RM	JHM
4	REVISED PERMITS	7-23-18	RM	JHM
5	REVISED PERMITS	7-23-18	RM	JHM
6	REVISED PERMITS	7-23-18	RM	JHM
7	REVISED PERMITS	7-23-18	RM	JHM

SITE PLAN

LOTS 33 & 34 PROPOSED HOUSE OF WORSHIP BLOCK 300

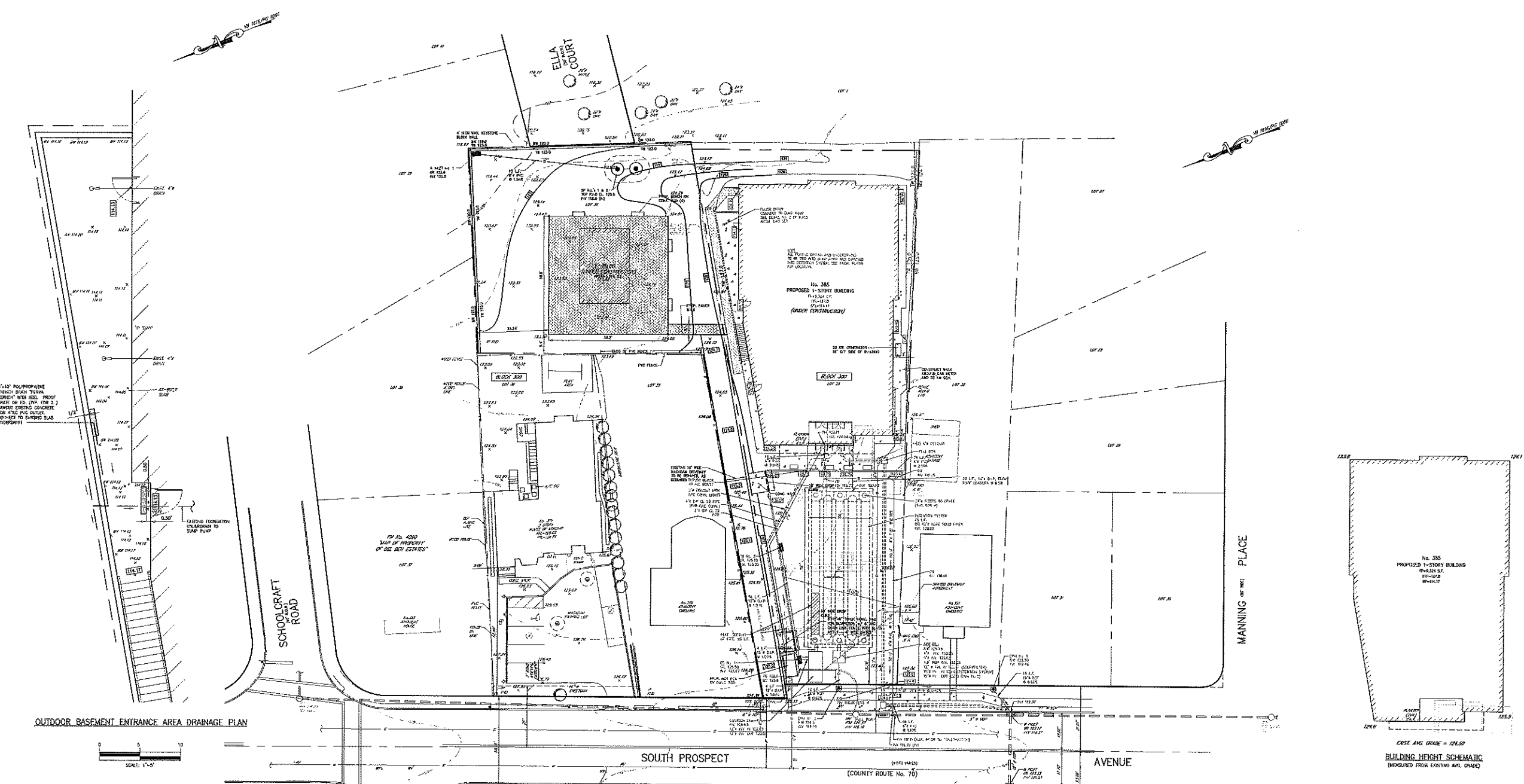
NO. 385 S. PROSPECT AVENUE BERENGFELD COUNTY NEW JERSEY

APPLICANT: BAS WEDRASH OF BERENGFELD 371 SOUTH PROSPECT AVENUE BERENGFELD, NEW JERSEY 07821

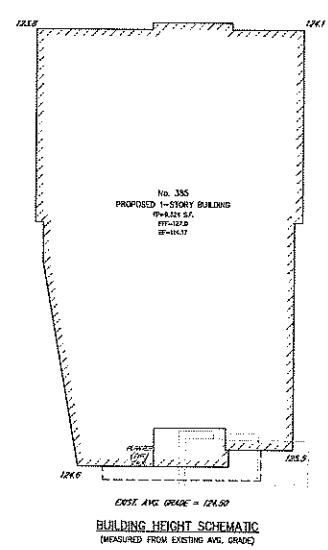
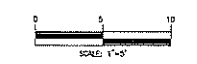
DRAWN BY: D.M.
CHECK BY: JHM
SCALE: 1"=20'
DATE: 7-30-18
BY: RM
CHKD.: JHM

HUBSCHMAN ENGINEERING P.A.
ENGINEERS PLANNERS ARCHITECTS
2834 S. WASHINGTON AVE., BERENGFELD, NJ 07821
908-384-2528

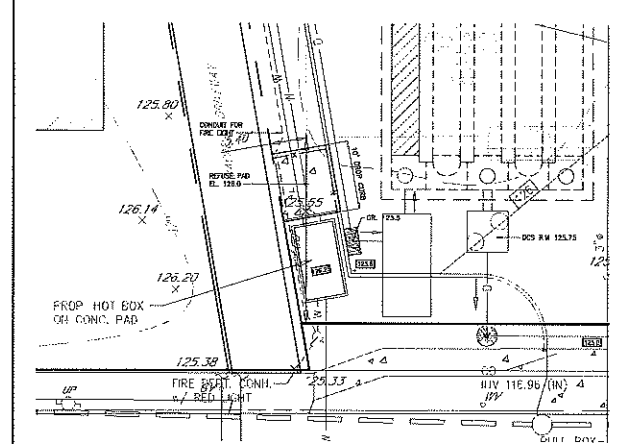
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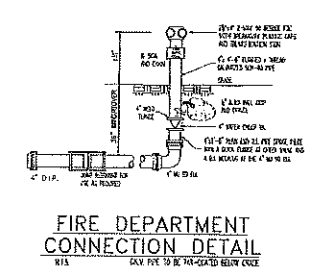
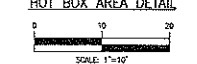
OUTDOOR BASEMENT ENTRANCE AREA DRAINAGE PLAN



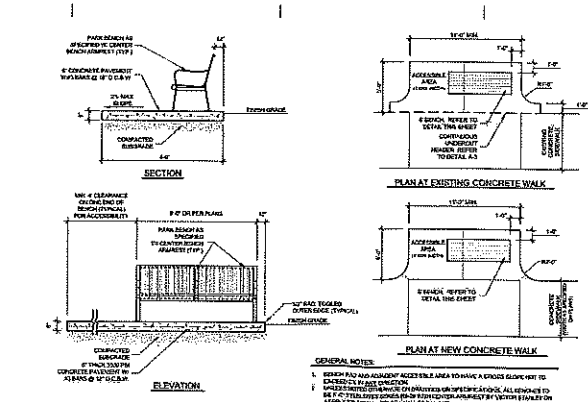
BUILDING HEIGHT SCHEMATIC
(MEASURED FROM EXISTING A.S.L. GRADE)



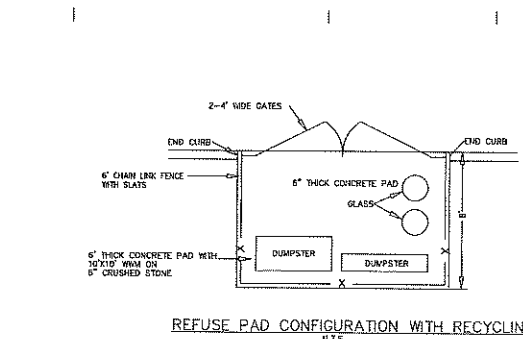
SOUTH PROSPECT AVENUE
HOT BOX AREA DETAIL



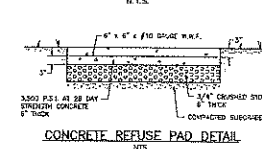
FIRE DEPARTMENT
CONNECTION DETAIL



BENCH DETAIL
NOT TO SCALE



REFUSE PAD CONFIGURATION WITH RECYCLING
N.T.S.



CONCRETE REFUSE PAD DETAIL
N.T.S.

NO.	DESCRIPTION	DATE	BY	CHKD.
3	RELOCATE TRUCK DRIVE FOR RECYCLING EQUIPMENT AREA	7-6-21	NJK	WJM
2	CONC. LOT 34 AND PAD	7-1-21	WJM	WJM
7	RECONFIGURE DRAINAGE SYSTEM	3-16-21	WJM	WJM
6	REMOVE HOT BOX EXISTING WATER LINES	1-17-21	WJM	WJM
5	ADD SEWER AND WATER LOCATIONS LOCATED BASED ON PLS 8-12-20	8-12-20	WJM	WJM
4	SHOW 6" WATER LINE, DRAINAGE HOT BOX	3-28-20	WJM	WJM
3	BY ADDITION TO 1	1-12-19	WJM	WJM
2	MODIFIED MAINS AND PAVING LOGS PROPOSED BRIDGES	6-13-18	WJM	WJM
1	1/4" HATCH LETTERS SIGNED 10-27-18 BERGEN COUNTY COMING COVER 10-30-18	12-4-18	WJM	WJM
AW	REVISIONS	DATE	BY	CHKD.

GRADING DRAINAGE & UTILITY PLAN
 LOTS 33 & 34 PROPOSED HOUSE OF WORSHIP BLOCK 300
 No. 385 S. PROSPECT AVENUE
 BOROUGHS OF BERGENFIELD BERGEN COUNTY NEW JERSEY
 APPLICANT: BASS BROTHERS OF BERGENFIELD
 385 SOUTH PROSPECT AVENUE
 BERGENFIELD, NEW JERSEY 07001

MICHAEL J. HUBSCHMAN P.E., P.P.
 PROFESSIONAL ENGINEER AND PLANNER
 N.J.P.E. NO. 22887 N.J.P.P. NO. 3200

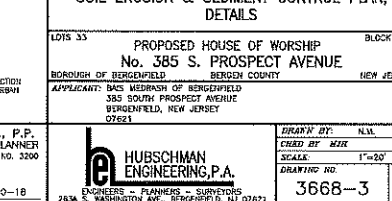
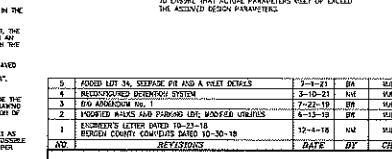
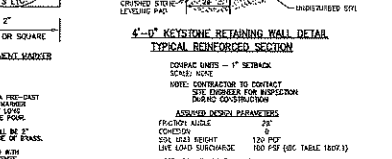
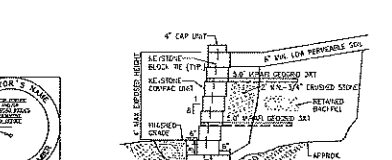
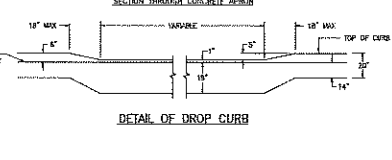
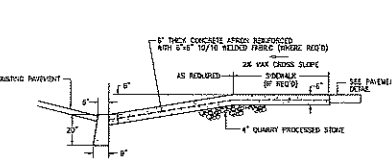
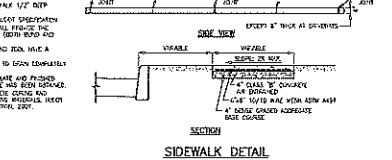
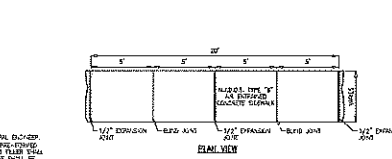
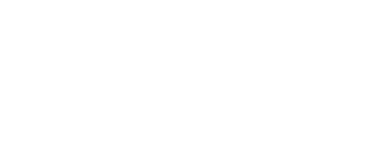
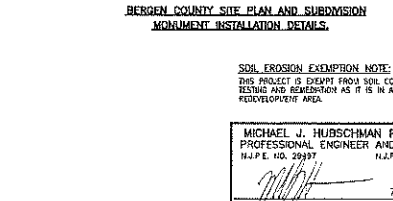
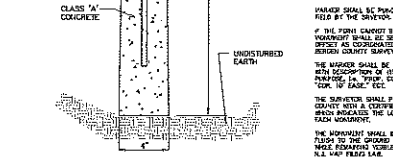
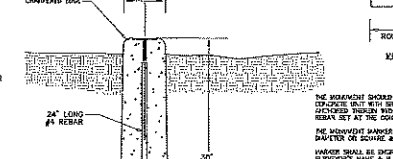
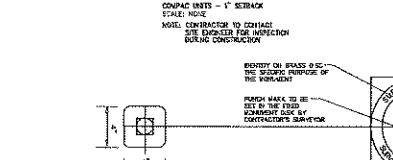
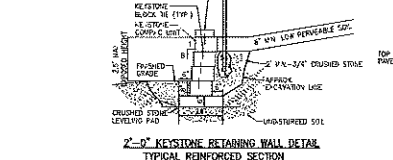
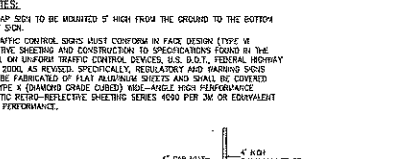
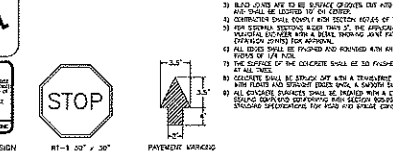
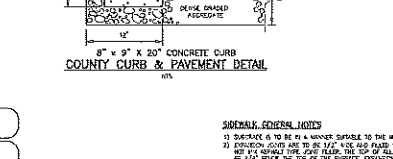
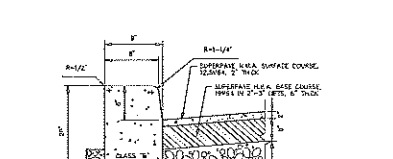
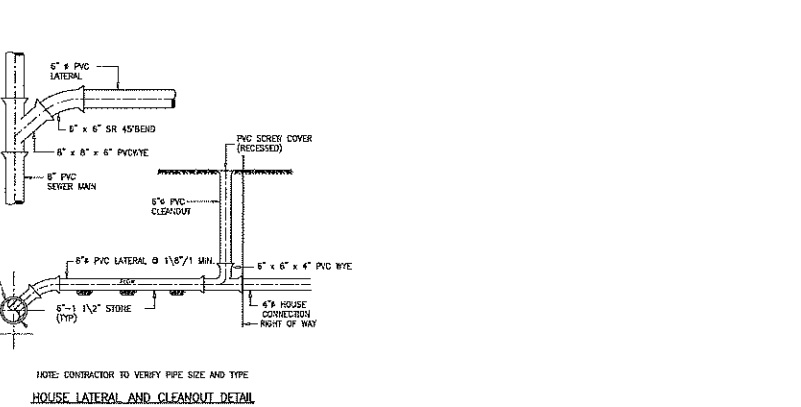
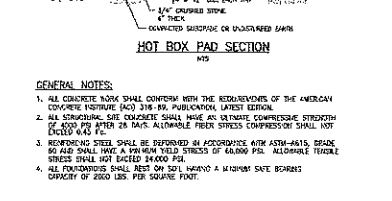
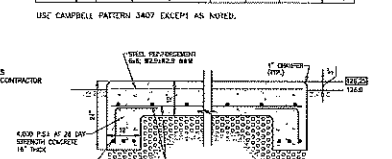
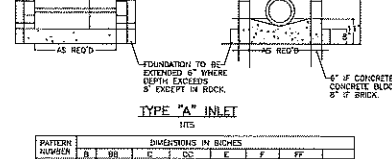
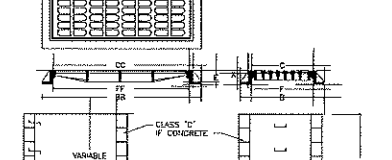
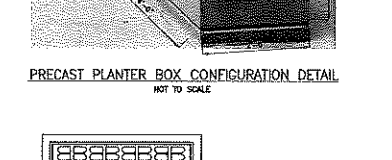
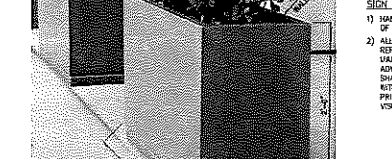
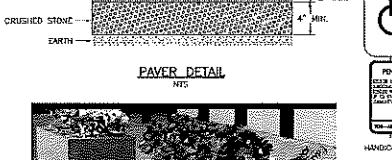
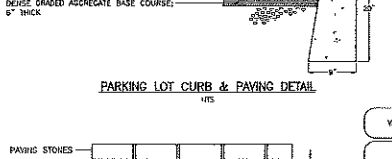
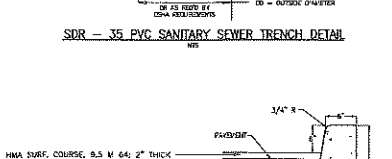
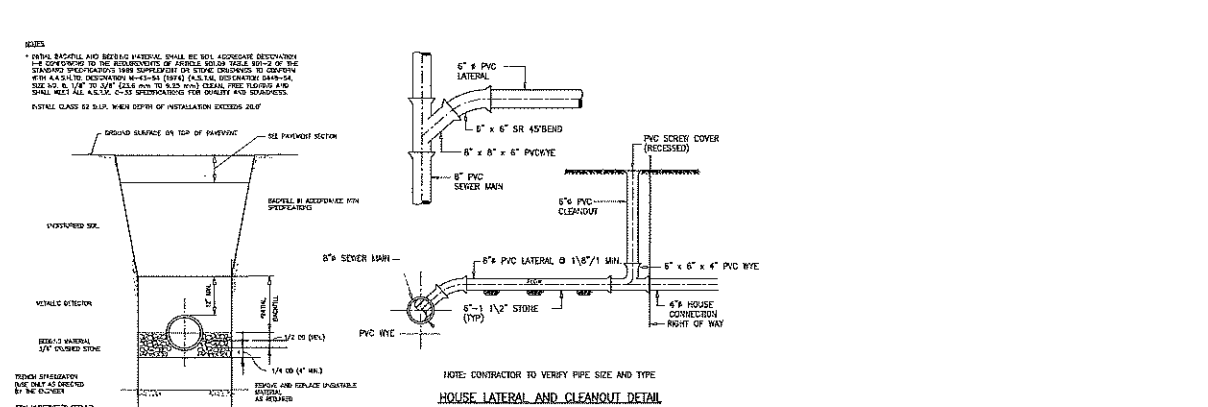
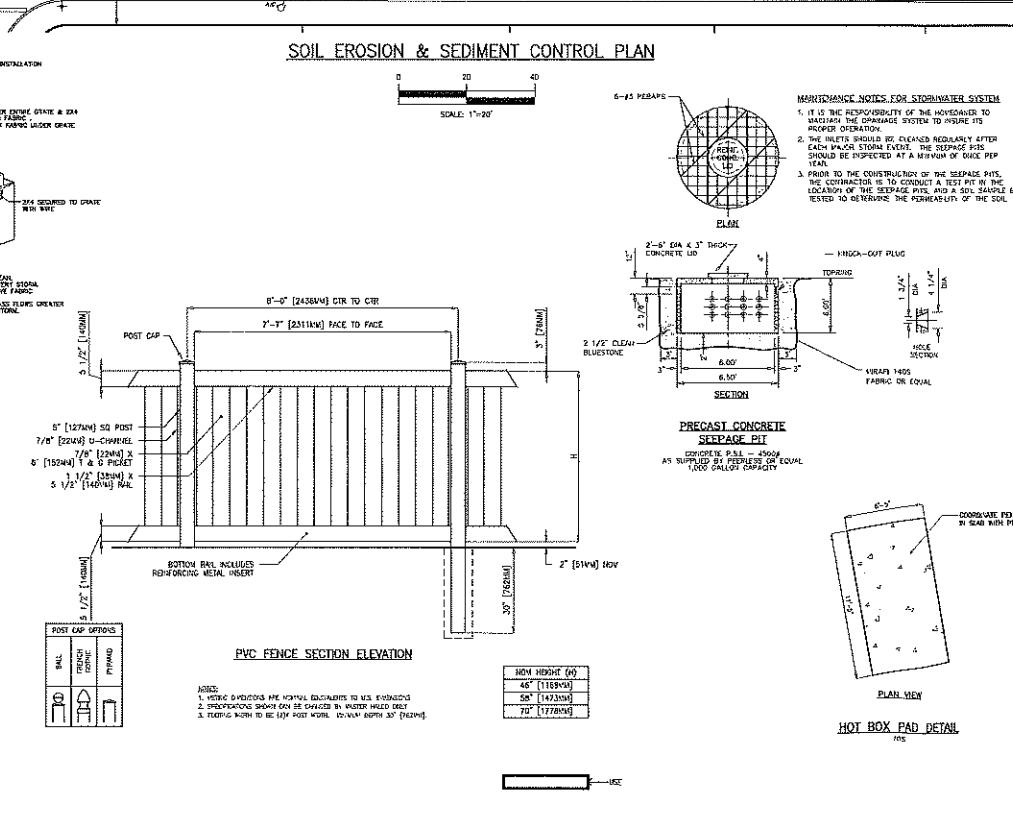
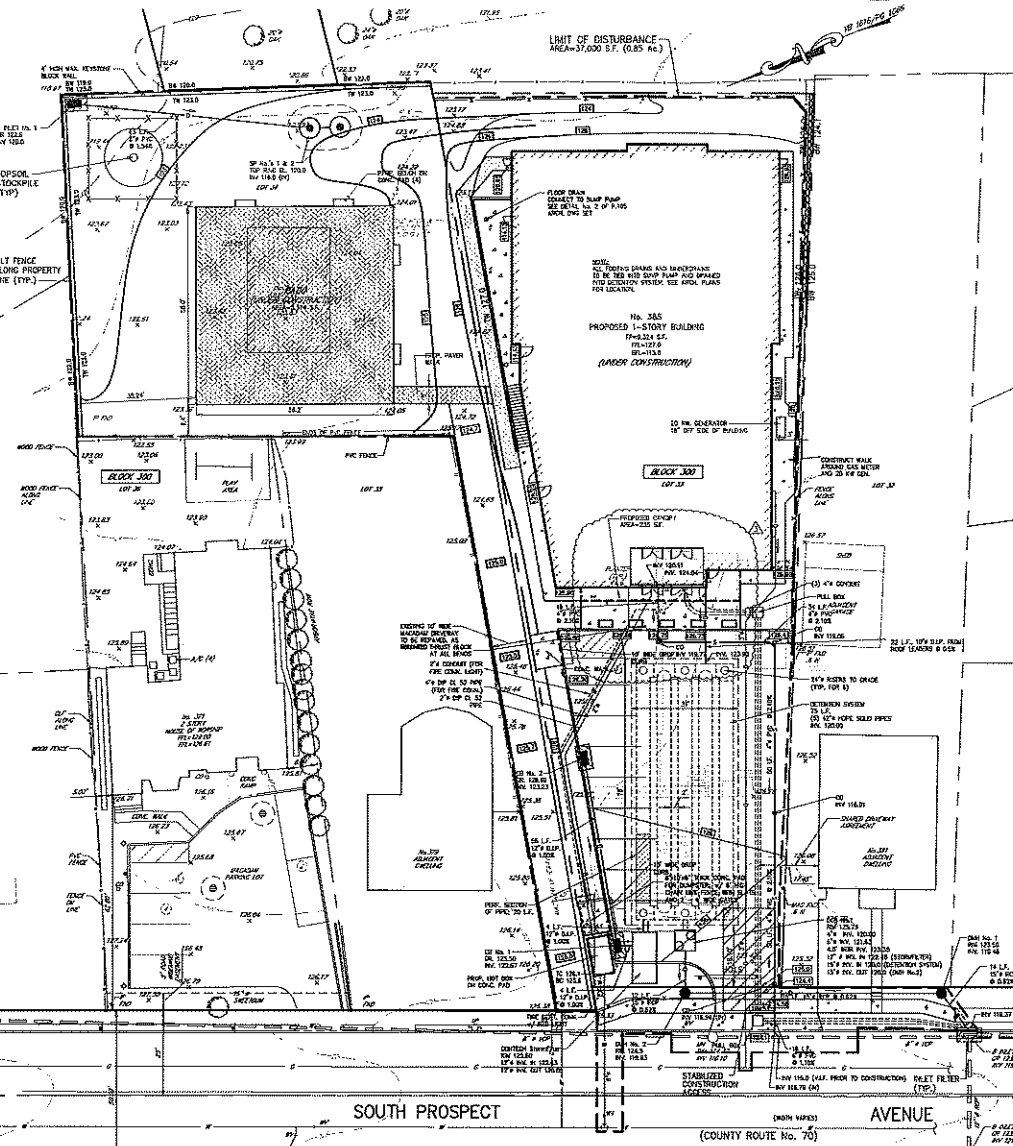
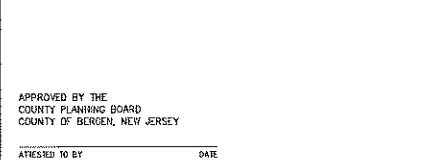
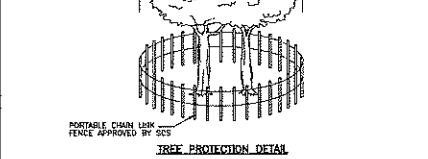
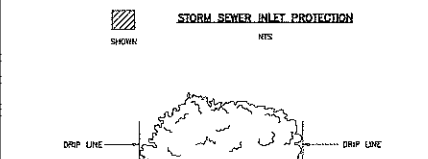
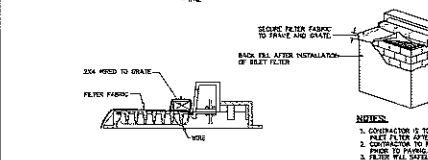
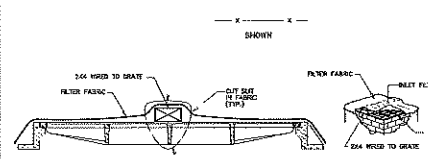
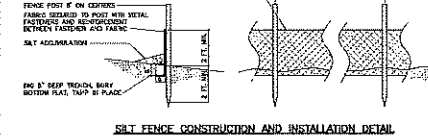
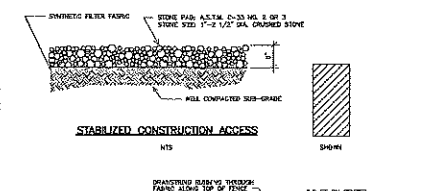
HUBSCHMAN ENGINEERING, P.A.
 ENGINEERS - PLANNERS - SURVEYORS
 263A S. WASHINGTON AVE., BERGENFIELD, NJ 07001
 201-384-5888

DRAWN BY: NJK
 CHECKED BY: WJM
 SCALE: 1"=20'
 SHEET NO. 3668-2
 REV. 8

**BERGEN COUNTY SOIL CONSERVATION DISTRICT
SOIL EROSION AND SEDIMENT CONTROL NOTES**

- All soil erosion and sediment control practices shall be installed in accordance with the Standards for Soil Erosion and Sediment Control by New Jersey (NJ) Division, and shall be included in permit applications and approved plans.
 - Any design shall not be less than 24 inches high and shall be subject to construction traffic and equipment within a temporary roadway and existing of the same within temporary roadway. The distance shall be indicated on approved plans.
 - Stabilized construction access shall be installed in accordance with the Standards for Soil Erosion and Sediment Control by New Jersey (NJ) Division, and shall be included in permit applications and approved plans.
- A. Stabilization Practices**
1. Stabilization Practices shall be installed in accordance with the Standards for Soil Erosion and Sediment Control by New Jersey (NJ) Division, and shall be included in permit applications and approved plans.
 2. Stabilization Practices shall be installed in accordance with the Standards for Soil Erosion and Sediment Control by New Jersey (NJ) Division, and shall be included in permit applications and approved plans.
 3. Stabilization Practices shall be installed in accordance with the Standards for Soil Erosion and Sediment Control by New Jersey (NJ) Division, and shall be included in permit applications and approved plans.
- B. Permanent Seeding and Mulching**
1. Permanent Seeding and Mulching shall be installed in accordance with the Standards for Soil Erosion and Sediment Control by New Jersey (NJ) Division, and shall be included in permit applications and approved plans.
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 3. Permanent Seeding and Mulching shall be installed in accordance with the Standards for Soil Erosion and Sediment Control by New Jersey (NJ) Division, and shall be included in permit applications and approved plans.
- C. Storm Sewer Inlet Protection**
1. Storm Sewer Inlet Protection shall be installed in accordance with the Standards for Soil Erosion and Sediment Control by New Jersey (NJ) Division, and shall be included in permit applications and approved plans.
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- SEQUENCE OF CONSTRUCTION**
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 50. STABILIZED CONSTRUCTION ACCESS



APPROVED BY THE COUNTY PLANNING BOARD COUNTY OF BERGEN, NEW JERSEY

MICHAEL J. HUBSCHMAN P.E., P.P. PROFESSIONAL ENGINEER AND PLANNER N.J.P.E. NO. 29977

HUBSCHMAN ENGINEERING, P.A.
ENGINEERS - PLANNERS - SURVEYORS
2434 S. WASHINGTON AVE. SUITE 201
SPRINGFIELD, NJ 07081
908-366-3666

SOIL EROSION & SEDIMENT CONTROL PLAN; DETAILS

PROPOSED HOUSE OF WORSHIP
No. 385 S. PROSPECT AVENUE
BERGEN COUNTY
NEW JERSEY

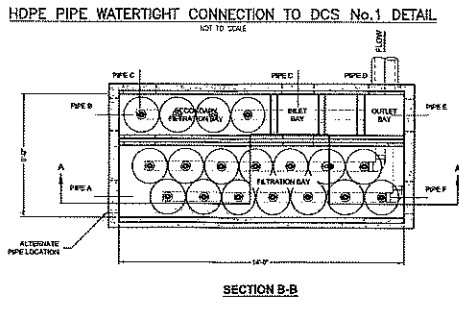
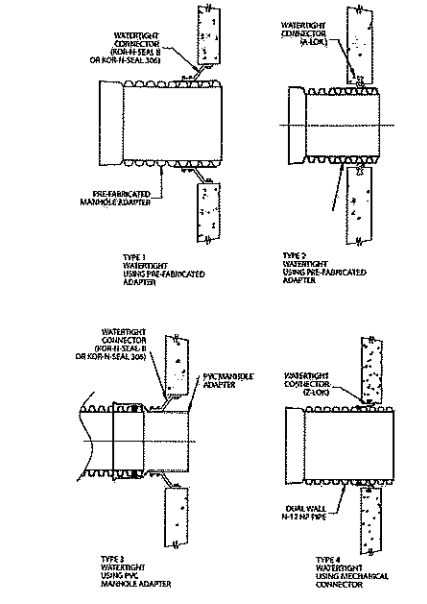
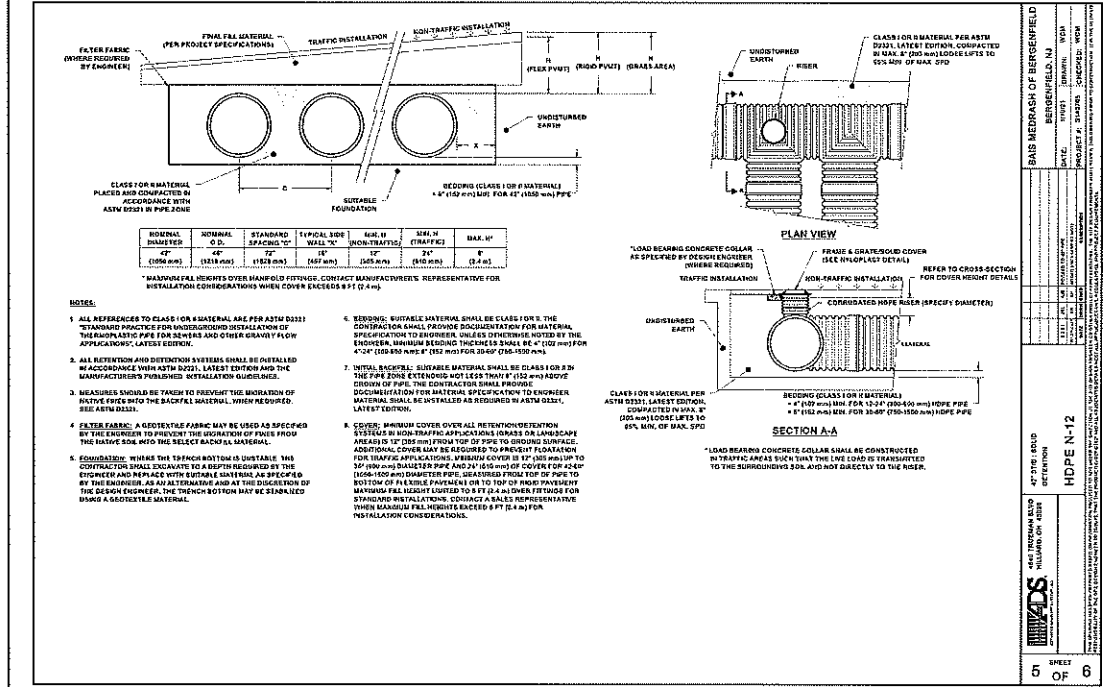
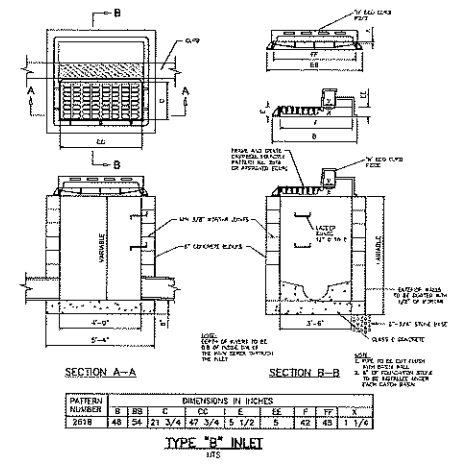
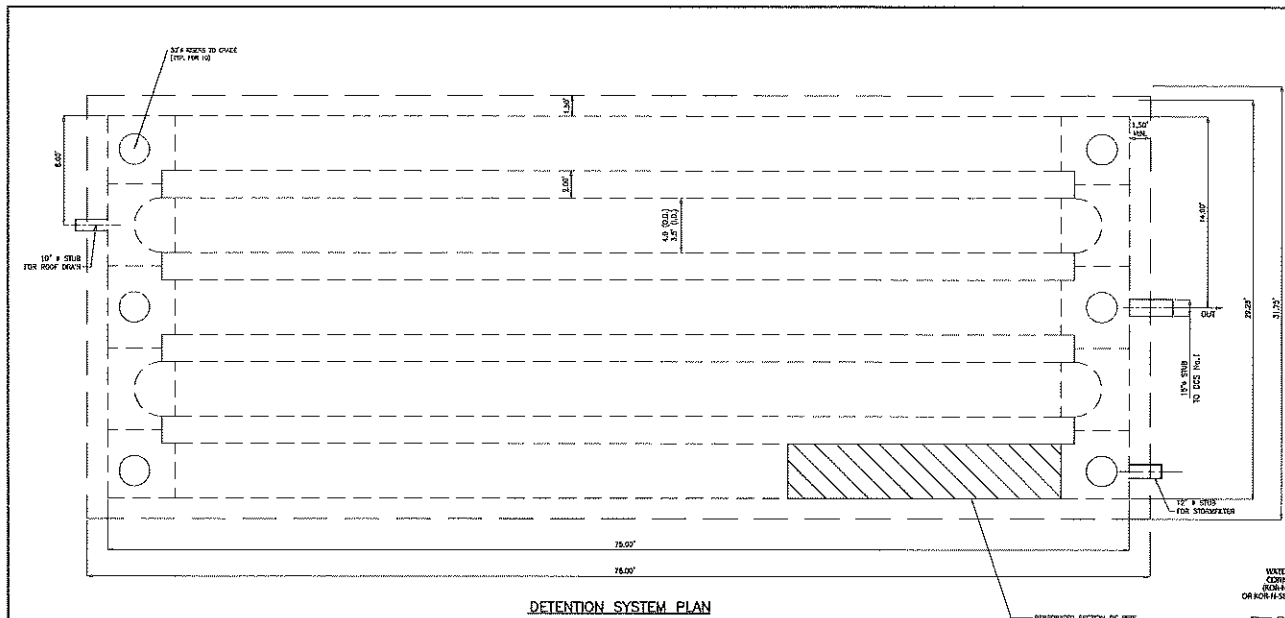
APPLICANT: BACS MEMBERS OF BERKSFIELD
385 SOUTH PROSPECT AVENUE
BERKSFIELD, NEW JERSEY 07821

DATE: 7-30-18
BY: [Signature]

SCALE: 1"=20'

DRAWING NO: 3668-3

3 of 6



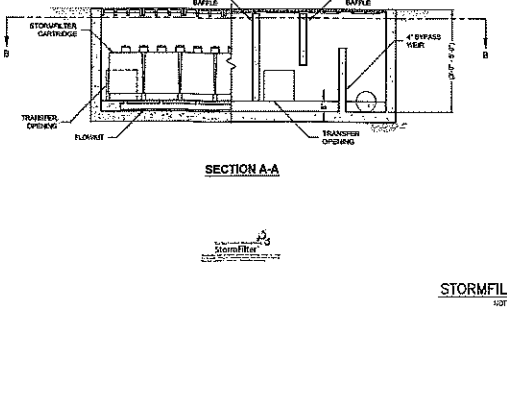
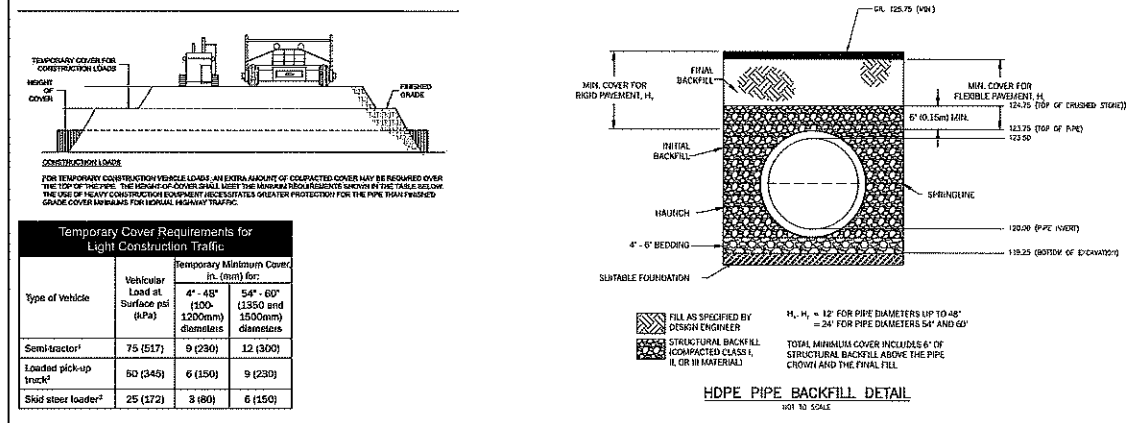
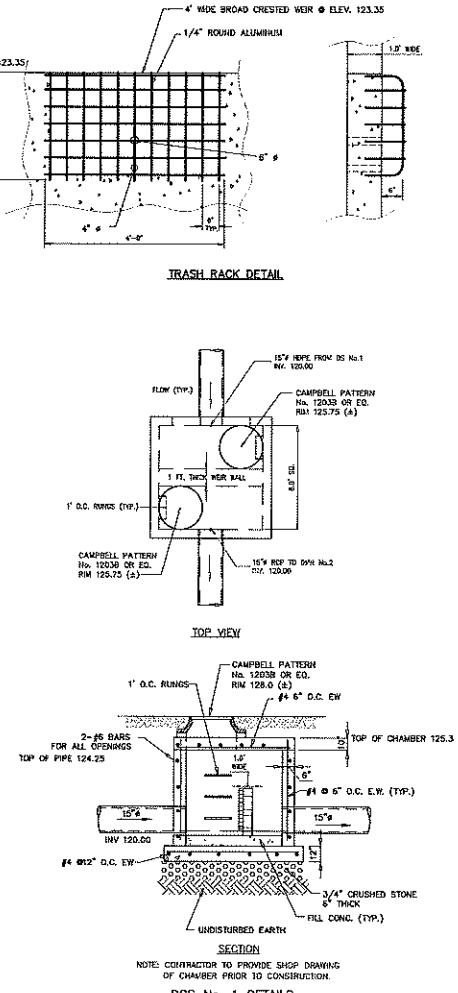
6" x 14" LINEAR GRATE STORMFILTER DESIGN NOTES

STORMFILTER TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. THE STANDARD VAULT STYLE IS SHOWN WITH THE MAXIMUM NUMBER OF CARTRIDGES. VAULT MAY BE CONSTRUCTED WITH NO SECONDARY FILTRATION BAY, ALLOWING FOR RECYCLED AND ADDITIONAL INLET PIPE LOCATIONS.

CARTRIDGE SELECTION	RECOMMENDED INTERVAL (DAYS)	FLOW RATE (GPM)	PEAK FLOW RATE (GPM)	PEAK FLOW RATE (MGD)
1	2	100	200	0.002
2	3	150	300	0.003
3	4	200	400	0.004
4	5	250	500	0.005
5	6	300	600	0.006
6	7	350	700	0.007
7	8	400	800	0.008
8	9	450	900	0.009
9	10	500	1000	0.010
10	11	550	1100	0.011
11	12	600	1200	0.012
12	13	650	1300	0.013
13	14	700	1400	0.014
14	15	750	1500	0.015
15	16	800	1600	0.016
16	17	850	1700	0.017
17	18	900	1800	0.018
18	19	950	1900	0.019
19	20	1000	2000	0.020

SITE SPECIFIC DATA REQUIREMENTS

ITEM	REQUIREMENT	STATUS
1	STRUCTURE ID	-
2	WATER QUALITY FLOWRATE (GPM)	-
3	PEAK FLOW RATE (MGD)	-
4	RETURN FLOW RATE (MGD)	-
5	CARTRIDGE HEIGHT (FT.)	-
6	NUMBER OF CARTRIDGES REQUIRED	-
7	CARTRIDGE FLOW RATE (GPM)	-
8	DESIGN FLOW RATE (MGD)	-
9	PIPE DATA	-
10	PIPE A	-
11	PIPE B	-
12	PIPE C	-
13	PIPE D	-
14	PIPE E	-
15	PIPE F	-
16	PIPE G	-
17	PIPE H	-
18	PIPE I	-
19	PIPE J	-
20	PIPE K	-
21	PIPE L	-
22	PIPE M	-
23	PIPE N	-
24	PIPE O	-
25	PIPE P	-
26	PIPE Q	-
27	PIPE R	-
28	PIPE S	-
29	PIPE T	-
30	PIPE U	-
31	PIPE V	-
32	PIPE W	-
33	PIPE X	-
34	PIPE Y	-
35	PIPE Z	-



STORMFILTER DETAILS

NOT TO SCALE

Temporary Cover Requirements for Light Construction Traffic

Type of Vehicle	Vehicle Load at Surface (psf)	Temporary Minimum Cover (ft.)	Temporary Minimum Cover (mm)
Semi-tractor ¹	75 (517)	9 (280)	12 (300)
Loaded pick-up truck ²	50 (345)	6 (180)	9 (230)
Skid steer loader ³	25 (172)	3 (80)	6 (150)

GENERAL NOTES:

- CONTRACTOR TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE. DIMENSIONS SHOWN WITHIN 1/8" UNLESS OTHERWISE SPECIFIED. ACTUAL DIMENSIONS MAY VARY.
- FOR SITE SPECIFIC DIMENSIONS WITH EXISTING WALLS, CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER FOR SOLUTIONS. IAC REPRESENTATIVE: www.pcep.com
- STORMFILTER WATER QUALITY EFFICIENCY SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND REQUIREMENTS CONTAINED IN THE DRAWING.
- STRUCTURE SHALL BEAR WEIGHT AS SHOWN, ASSUMING EARTH COVER OF 2' AND GRADE/ROOF ELEVATION AT OR BELOW THE OUTLET PIPE INVERT ELEVATION. STRENGTH OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AND/OR EXCEED THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- FILTER CARTRIDGES SHALL BE UNIFORM, PASSE, SMOOTH SURFACES, RADIAL FLOW, AND SELF-CLEANING. RADIAL MEDIA DEPTH SHALL BE 4" MINIMUM. FILTER MEDIA CONTACT TIME SHALL BE AT LEAST 30 SECONDS.
- STRUCTURE FLOW RATE IS EQUAL TO THE FILTER TREATMENT CAPACITY (SPECIFIED BY THE FILTER CONTRACTOR) TIMES AREA (A) TIMES 60 SECONDS. STRUCTURE FLOW RATE SHALL BE PRECAST CONCRETE CONFORMING TO ACTUAL CASE AND ASSUMED LOAD FACTOR DESIGN METHOD.

INSTALLATION NOTES:

- CONTRACTOR SHALL PROVIDE ANCHOR AND ANTI-FLUTTER PROVISIONS AND SITE SPECIFIC DESIGN COORDINATION AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR SHALL PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMFILTER VAULT AT FINISHED ELEVATION. CONTRACTOR SHALL PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMFILTER VAULT AT FINISHED ELEVATION.
- CONTRACTOR TO PROVIDE, INSTALL, AND VERIFY INLET AND OUTLET PIPES. MATCH OUTLET PIPE INVERT WITH OUTLET BAY FLOOR. ALL PIPE CONTRACTORS TO MATCH COVER ELEVATIONS.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION RELATED BROKEN BRICK.
- CONTRACTOR TO REMOVE TRAFFIC HOLES PRIOR TO PLACING SYSTEM ONLINE.

MICHAEL J. HUBSCHMAN P.E., P.P.
PROFESSIONAL ENGINEER AND PLANNER
N.J.P.E. NO. 24897
N.J.P.P. NO. 3200

STORMWATER MANAGEMENT DETAILS

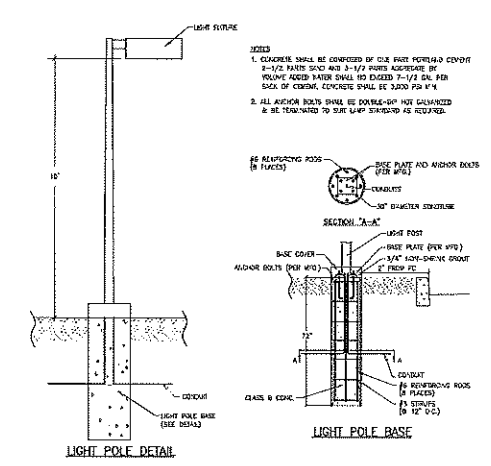
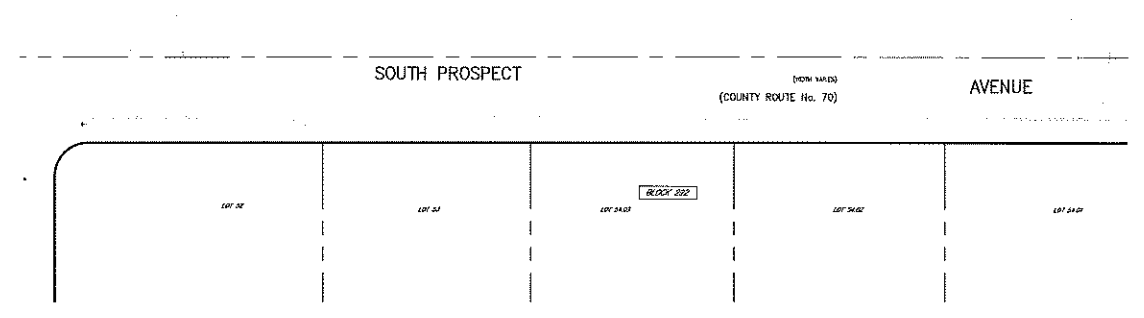
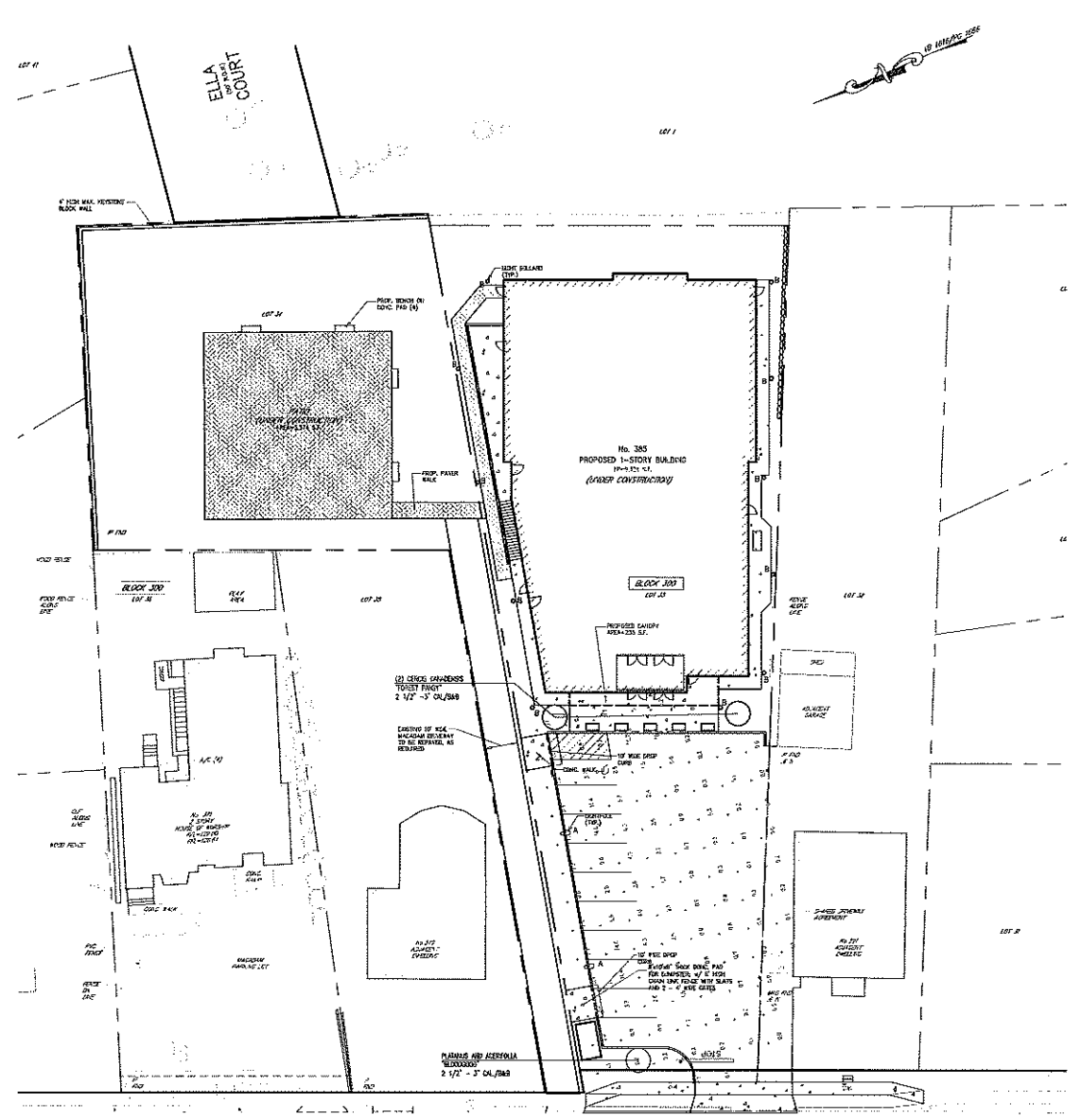
LOT 33 PROPOSED HOUSE OF WORSHIP BLOCK 300
No. 385 S. PROSPECT AVENUE
BOROUGH OF BERKSHIRE BERGEN COUNTY NEW JERSEY
APPLICANT: BNS JERSEON OF BERKSHIRE
305 SOUTH PROSPECT AVENUE
BERKSHIRE, NEW JERSEY 07621

DRAWN BY: N.M.
CHECKED BY: M.H.
SCALE: AS SHOWN
DRAWN AND PLOT: HUBSCHMAN ENGINEERING, P.A.
265A S. WILKINSON AVENUE SUITE 201 BERKSHIRE, NJ 07621
908-261-5888

DATE: 7-30-18
BY: CHAD

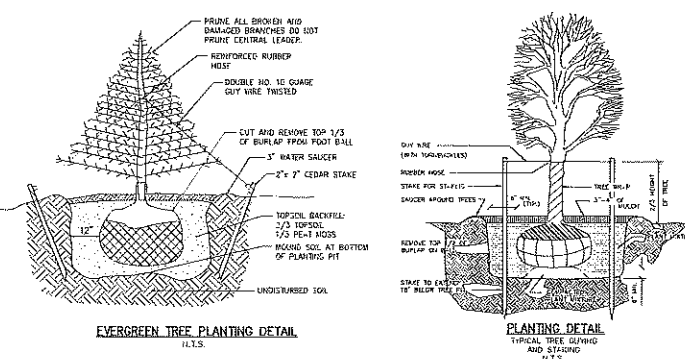
3668-4

4 of 6



NOTES:

- The light loss factor (LLF) is a product of many variables, only lamp lumen depreciation (LLD) has been applied to the calculated results unless otherwise noted. The LLF is the result (percentage) of mean lumen / initial lumens per lamp manufacturer's specifications.
- Illumination values shown (in footcandles) are the predicted results for places of circulation other than horizontal, vertical or inclined as depicted in the excavation summary. Water penetration is assumed to the plane of excavation.
- The calculated results of this lighting simulation represent an anticipated prediction of system performance. Actual measured results may vary from the anticipated performance and are subject to means and methods which are beyond the control of RAB Lighting Inc.
- Mounting height determination is job site specific, our lighting simulation assumes a mounting height (mounting point of the luminaire symbol) to be taken at the top of the symbol for lighting mounted luminaires and at the bottom of the symbol for all other luminaire mounting configurations.
- It is the Owner's responsibility to confirm the suitability of the existing or proposed poles and bases to support the proposed fixtures, based on the weight and EPA of the proposed fixtures and the owner's site soil conditions and wind zone. It is recommended that a professional engineer consult to provide in the field the site is located is engaged to assist in the determination.
- The landscape material shown herein is conceptual, and is not intended to be an accurate representation of any particular plant, animal, bush, or tree, as these materials are living objects, and subject to constant change. The contractor accepts all responsibility for the selection of plants, animals, and trees to be used on the project. The actual illumination values measured in the field will vary.
- Professional model elements such as buildings, terrain, plants, furnishings or any architectural details which impact the dispersion of light must be detailed by the customer documents for inclusion in the lighting design model. RAB is not responsible for any inaccuracies caused by incomplete information on the part of the customer, and reserves the right to use best judgment when translating customer requests into photometric studies.
- RAB Lighting Inc. luminaires and product designs are protected under U.S. and International Intellectual Property laws. Patents issued or pending apply.



LANDSCAPE SPECIFICATIONS AND PLANTING NOTES

- THE LANDSCAPE CONTRACTOR SHALL VERIFY WITH THE ARCHITECT THAT HE IS WORKING FROM THE MOST CURRENT PLAN AND THE LATEST REVISIONS THEREOF, PRIOR TO ORDERING PLANTS AND BEGINNING WORK.
- PROTECT ALL EXISTING VEGETATION TO REMAIN FROM DAMAGE DURING CONSTRUCTION.
- USE EXTREME CAUTION TO PROTECT UTILITIES.
- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE LOCATION OF MECHANICAL EQUIPMENT AND UTILITIES EXISTING OR PROPOSED IN THE AREA TO BE PLANTED, AND WHERE NECESSARY RELOCATE PLANTS AT THE DIRECTION OF THE ARCHITECT.
- QUANTITIES GIVEN IN THE PLANT LIST ARE FOR REFERENCE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIALS REQUIRED TO COMPLETE THE PLANTS.
- THE CONTRACTOR SHALL VERIFY ALL GRADES, DIMENSIONS, AND EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- LOCATIONS OF NEW PLANTS SHALL BE STAKED BY THE CONTRACTOR AND APPROVED BY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- ALL WOOD AND TREE SACKERS SHALL RECEIVE 2 INCHES THICKNESS OF SHEDDED HARDWOOD MULCH, DARK IN COLOR.
- CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR ONE YEAR FROM DATE OF LANDSCAPE ARCHITECT'S FINAL WRITTEN APPROVAL.
- EARTH BACKFILL SHALL BE FREE FROM RUBBERIAL DEBRIS, SOIL, ROOTS, OR ARTIFICIAL MATERIAL.
- BACKFILL FOR PLANTING SHALL BE THREE PARTS TOPSOIL, ONE PART SAND AND ONE PART PEAT MOSS.
- CONTRACTOR IS RESPONSIBLE FOR WATERING UNTIL ESTABLISHMENT IS COMPLETE.
- CONTRACTOR TO RETURN ALL LAWN AREAS DAMAGED FROM CONSTRUCTION AND PLANTING OPERATIONS.
- ALL THE BED AREAS SHALL BE WELL DEFINED AND CONFORM DARK MULCH.
- KEEP GROWTH BARRIER FABRIC SHALL BE UTILIZED WITHIN BED AREAS TO SUPPRESS GROWTH.

ALED4T50Y

Dimensions: 10" x 10" x 10"

Features: 85% energy cost savings vs HID, 150,000 Hour LED Output, Type IV Installation, Square Geometry

Family	Distinction	Warranty	Mounting	Color Temp.	Finish	Voltage	Dimming	Control Options
ALED	4T	50	Y	Y	Y	Y	Y	Y
27" Type I	50W	Black	Black	Black	Black	Black	Black	Black
37" Type II	80W	Black	Black	Black	Black	Black	Black	Black
47" Type IV	100W	Black	Black	Black	Black	Black	Black	Black

LIGHT FIXTURE DETAIL TYPE 'A'
(MOUNTING HEIGHT - 10')

BLED18

Project	Type
Prepared By:	Date:

Driver Info	LED Info
Type: 18W	Watts: 18W
Current: 0.26A	Color Temp: 5000K
Voltage: 200V	Color Accuracy: 90 CRI
Power Factor: 0.95	Life Expectancy: 100,000 Hours
Efficiency: 100%	Beam Spread: 120°
	Efficiency: 48 LPW

Order Number: 10494-218-00

LIGHT FIXTURE DETAIL TYPE 'B'
(MOUNTING HEIGHT 3.5')

Luminaires Schedule

Symbol	Qty	Log	Location	Arrangement	Line	Notes	Notes
10	2	1	KENNESAW + ALDENSON	2x10	200	1.000	1.000
11	8	1	BLED18	2x10	200	1.000	1.000

LIGHTING & LANDSCAPING PLAN

LOTS 33 PROPOSED HOUSE OF WORSHIP BLOCK 300
No. 365 S. PROSPECT AVENUE
BERGENFIELD, NEW JERSEY

APPLICANT: BAIS VEDRASH OF BERGENFIELD
385 SOUTH PROSPECT AVENUE
BERGENFIELD, NEW JERSEY
07621

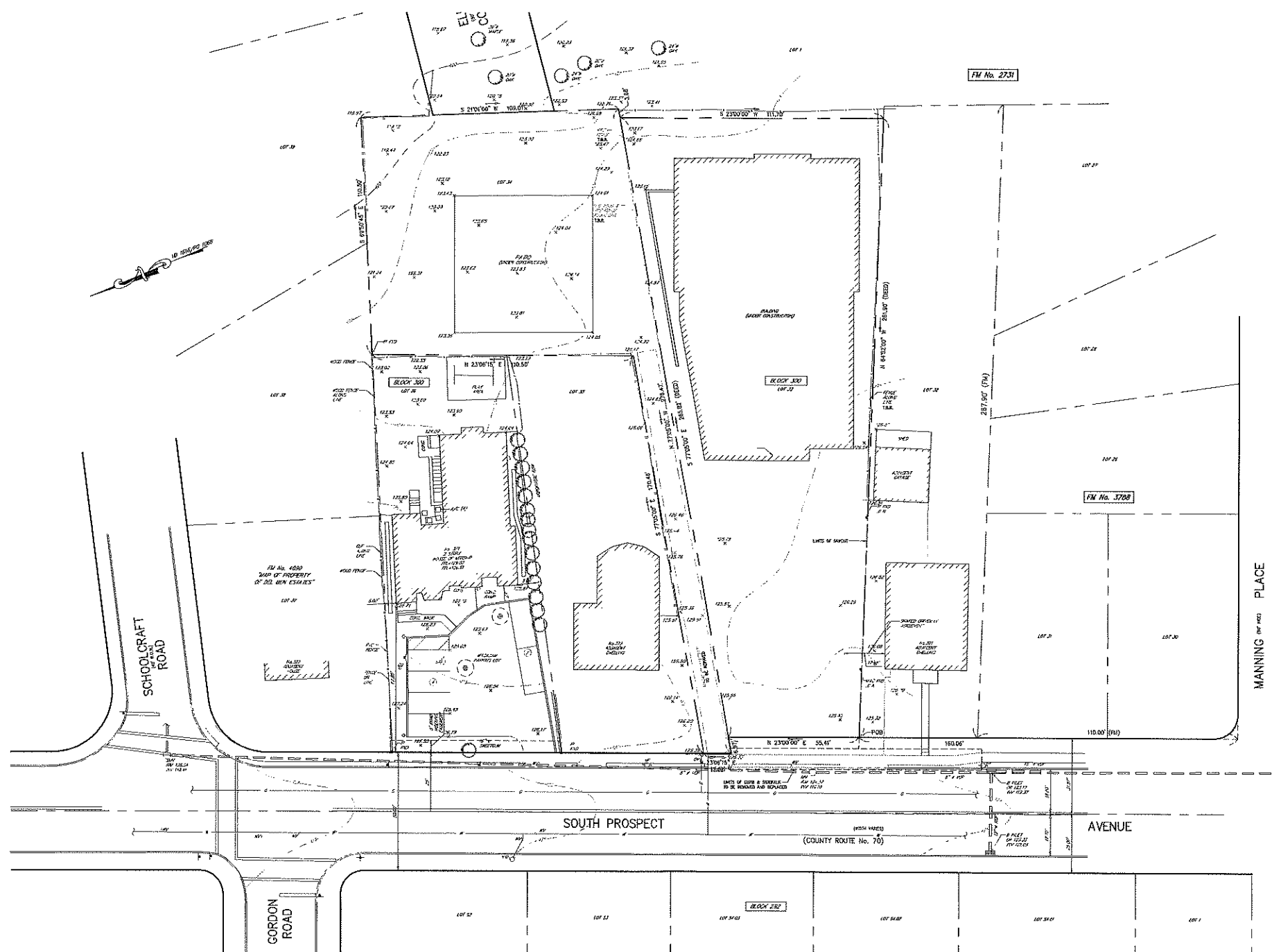
SCALE: 1"=20'

7-30-18

HUBSCHMAN ENGINEERING, P.A.
263A S. WASHINGTON AVE., BERGENFIELD, NJ 07621
201-328-2888

DRIVEN BY: H.M.
CHECKED BY: M.H.
SCALE: 1"=20'
DRAWING NO: 3668-5
REV: 4

8 of 8



- REFERENCES**
- 1) BOOK 1816, PG 1065 (LOT 33)
 - 2) DEED BOOK 9543, PG 446 (LOT 36)
 - 3) A CHAIN MAP ENTITLED "MAP OF PROPERTY OF DEL BEN ESTATES, BERGENFIELD, NJ" FILED IN THE BCCO AS MAP No. 4050.
 - 4) NL FILED IN THE BCCO AS MAP No. 3785.
 - 5) BOROUGH OF BERGENFIELD TAX MAPS.
 - 6) BOOK 2285, PG 34 (LOT 34)
 - 7) BOOK 464, PG 2164 (LOT 32)
 - 8) SURVEY OF LOT 35, BLK 300 BY J. THOMAS, PLS.
 - 9) SURVEY OF LOT 33, BLK 300 BY J. DEAY, PLS. DATED 1-24-14

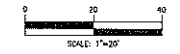
MANNING PLACE

SCHOOLCRAFT ROAD

GORDON ROAD

SOUTH PROSPECT AVENUE
(COUNTY ROUTE No. 70)

AVENUE



2	JANIS LOT 33	1-1-11	BB	JFM
1	RD ADDITION No. 1	7-22-19	BB	WAF
NO.	REVISIONS	DATE	BY	CHKD.
EXISTING CONDITIONS PLAN				
LOTS 33 & 34		BLOCK 300		
PROPOSED HOUSE OF WORSHIP No. 385 S. PROSPECT AVENUE				
BOROUGH OF BERGENFIELD, BERGEN COUNTY, NEW JERSEY				
APPLICANT: BNS CHURCH OF BERGENFIELD 385 SOUTH PROSPECT AVENUE BERGENFIELD, NEW JERSEY 07001				
DRAWN BY: H.M.		DATE: 1-20-20		
CHECKED BY: M.H.		SCALE: 1"=20'		
DRAWING NO: 3668-6		REV: 2		

ROBERT J. MUELLER
PROFESSIONAL LAND SURVEYOR
N.J. LIC. NO. 31286

MICHAEL J. HUBSCHMAN P.E., P.P.
PROFESSIONAL ENGINEER AND PLANNER
N.J.P.P. NO. 3100

7-30-18
JMK

7-30-18
JMK

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