

BOROUGH OF BERGENFIELD
198 North Washington Avenue | Bergenfield, NJ 07621
201.387.4055 | www.bergenfield.com

**SUNSHINE NOTICE
BOROUGH OF BERGENFIELD
ZONING BOARD OF ADJUSTMENT
REGULAR MEETING
VIA ZOOM**

Please be advised due to the current state of emergency and public health emergency declared by Governor Phil Murphy pursuant to Executive Order No. 103, and in an effort to prevent further spread of COVID-19, the Borough of Bergenfield Zoning Board of Adjustment meeting on Monday, February 1, 2021 will be held via teleconference using Zoom in lieu of an in-person meeting.

Members of the public can join this meeting from their computer, tablet, or smartphone. Members of the public who join this meeting will be able to give public comment during the relevant portions of the meeting. The meeting link and telephone number to join the meeting will be provided on the Borough of Bergenfield website at www.bergenfield.com.

The Zoning Board of Adjustment agenda for this meeting can be reviewed and downloaded from the Borough website.

Please visit the Borough website on www.bergenfield.com for updates and additional information on this meeting.

Hilda Tavitian, Clerk
Zoning Board of Adjustment
Borough of Bergenfield

***THIS IS A PUBLIC NOTICE, NOT A PAID LEGAL AD.**

**BERGENFIELD ZONING BOARD OF ADJUSTMENT
REGULAR MEETING
TELECONFERENCE VIA ZOOM
February 1, 2021 8:00 PM**

AGENDA

MEETING CALLED TO ORDER

OPEN PUBLIC MEETING STATEMENT

In compliance with the Open Public Meetings Act, the notice requirements have been satisfied. Meeting dates are confirmed at the Annual Meeting. Notice of this meeting was provided to the Record, Star Ledger, and Cablevision, posted on two municipal public notice bulletin boards and published on the borough website. Notice of this meeting via the January 25, 2021 Sunshine Notice has been sent to the Record, Star Ledger, and Cablevision, posted on two municipal bulletin boards and the Borough website.

Any board member having a conflict of interest involving any matter to come before the board this evening is reminded they must recuse himself/herself from participating in any discussion on that matter.

PLEDGE OF ALLEGIANCE

INTRODUCTORY STATEMENT

Welcome to the Zoning Board of Adjustment. Let me briefly explain what we do. We are appointed by the Bergenfield Council to decide when a property owner should get relief from the strict application of the zoning code requirements. Typically, we hear two types of variances. The first is whether an applicant can vary from land restrictions including rules on sideline distance, height, and lot coverage. That is commonly called a bulk variance. The second is a use variance, where an applicant wants to use the property for a purpose not permitted under the zoning ordinance in that zone.

In these cases, the applicant has the burden of meeting certain criteria set forth in the Municipal Land Use Act. We carefully listen to the testimony, including objectors, and review all relevant documents. If a majority of the Board concludes that the applicant has satisfied those criteria, we must grant the requested variance.

ROLL CALL

APPROVE MINUTES OF PREVIOUS MEETING – January 11, 2021
Motion from board members to approve minutes.

CORRESPONDENCE

VERBAL COMMUNICATIONS

Comments by members of audience on matters not on evening's agenda

OLD BUSINESS

Resolutions:

1. Shanty LLC, 51 E. Main Street, Requesting extension of project

2. Genevieve McCarthy, 78 Lake Street, An addition
3. Samuel Moer, 40 Laurel Court, An addition/alteration

Application: 145 West Main Street, LLC
145 West Main Street
Change of use to a multi-family dwelling R-5 zone to RM zone
Carried over from January 11, 2021 meeting.

NEW BUSINESS

1. Adrian Maldonado
304 Merritt Avenue
In-ground Swimming Pool
2. David Landman
40 Hampton Court
Build a deck

MOTION TO ADJOURN MEETING

NOTE: No applications will be heard by the Board that were not on the agenda at the time of publication release to the newspaper or applications that do not comply with Article VIII title "Hearings contained in the By-Laws of the Bergenfield Zoning Board".

FILE NO. _____ DATE _____
DATE OF HEARING _____ DISPOSITION _____

BOARD OF ADJUSTMENT
MUNICIPAL BUILDING, BERGENFIELD, N.J.

APPLICATION FOR VARIATION/APPEAL
OF REQUIREMENTS OF ZONING ORDINANCE 1123

APPLICANT'S NAME 145 West Main Street LLC

ADDRESS 492 Cedar Lane, Ste 519, Teaneck, NJ 07666

OWNER'S NAME Lot 6.01 LLC (Owner as to Lot 6.01) and Lots 6.02 & 6.03 LLC (Owner as to Lots 6.02

OWNER'S ADDRESS _____ PHONE # _____ and 6.03)

FED I.D.# or S S _____

Applicant will be represented at public hearing by Matthew G. Capizzi, Esq.

TO THE BOARD OF ADJUSTMENT:
Application is hereby made for a variation/appeal from the requirements of Section (s) See bulk table on site plan and/or from the requirements of the Scheduled Limiting Bulk of Buildings of the Zoning Ordinance in accordance with plans and specifications attached hereto and/or decision of Zoning Officer. The location of this property is at NUMBER: 145 West Main Street

DESIGNATED AS Block(s) 106 and Lot(s) 6.01-6.03 on the Assessment Map of the Borough of Bergenfield.

ZONING DISTRICT R-5

VARIANCES REQUIRED: LOT AREA _____ LOT FRONTAGE _____

LOT COVERAGE xxx FRONT YARD x REAR YARD xxx SIDE YARD _____

TOTAL SIDE YARD _____ OTHER (specify) _____
Max Impervious Lot Coverage, Min On Site Parking, Use, Max Building Height, and Min Front Yard Setback @ N Franklin Ave.

THE REASON FOR DESIRED VARIANCE/APPEAL
At the time of the public hearing, a professional planner will testify as to the variance criteria

DESCRIPTION OF PROPERTY

1. SIZE OF LOT 150.41 x 96.20 2. SQUARE FEET IN LOT 15,215

3. SIZE OF PRESENT BUILDINGS x 4. STORIES 2
x

5. TOTAL AREA 15,215 SQ. FT. 6. NUMBER OF ROOMS See Architectural Plan

7. PERCENTAGE OF PROPERTY NOW OCCUPIED BY ALL BUILDINGS 7.54 %

8. PRESENT OCCUPANCY OF BUILDING OR PROPERTY Single family residence

9. ARE THERE ANY DEED RESTRICTIONS ON THE PROPERTY? YES xxx (Sanitary Easement)
NO _____ (If yes, provide a copy of same)

10. CHARACTER OF BUILDINGS WITHIN 200 FT. OF PROPERTY _____
Residential, Commercial and Public School

11. HAS THERE BEEN ANY PREVIOUS APPEAL INVOLVING THESE
PREMISES? YES xxx NO _____ IF SO, DATE FILED _____
DISPOSITION Major Subdivision

12. ARE THERE ANY EXISTING VIOLATIONS OF THE ZONING
ORDINANCE? YES _____ NO xxx (IF SO, EXPLAIN) _____

13. IS THIS, OR ANY PART OF THIS PROPERTY IN THE FLOOD ZONE?
YES _____ NO x

14. DOES THIS PROPERTY BORDER ON ANY COUNTY ROAD?
YES _____ NO x

15. DOES THIS PROPERTY BORDER WITHIN 200 FT. OF ANY OTHER
MUNICIPALITY? YES _____ NO x

DESCRIPTION OF PROPOSED CHANGES

16. ARE ANY BUILDINGS TO BE DEMOLISHED? YES xxx NO _____
17. SIZE OF NEW ADDITION _____ x _____ SQ. FT. See Site Plan
 _____ AREA _____ HEIGHT
18. SIZE OF NEW BUILDINGS 55 x 110 SQ. FT.
 _____ AREA 32.99ft HEIGHT
19. PERCENTAGE OF PROPERTY TO BE OCCUPIED BY ALL BUILDINGS
43.38% %
20. NUMBER OF FAMILIES/PERSONS TO BE PROVIDED FOR Multi-Family Building

 NOTE: ALL APPLICATIONS MUST INCLUDE: 1. Completed Application Form with Affidavits of Accuracy and Ownership. 2. An accurate Location Survey listing location of all structures with dimension to property lines with proposal sketched onto survey or submitted separately. 3. Copy of letter of denial by Construction Code Official or Zoning Officer, if applicable. ALL APPLICATIONS MUST BE FILED NO LESS THAN 30 DAYS PRIOR TO HEARING DATE. ALL PROOFS OF SERVICE, PUBLICATION, AND CERTIFICATE OF TAXES PAID MUST BE COMPLETED AND FILED WITH THE CONSTRUCTION CODE OFFICIAL NO LESS THAN TEN (10) DAYS PRIOR TO THE HEARING DATE. (All Return Receipts must be submitted prior to hearing.)

BOROUGH OF BERGENFIELD
APPLICATION FOR SITE PLAN APPROVAL

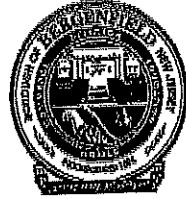
1. Applicant's name 145 West Main Street LLC Phone (H) _____
(B) _____
Applicant's address 492 Cedar Lane, Ste 519, Teaneck, NJ 07666
2. Name of present owner, if other than #1 _____
Lot 6.01 LLC (Owner as to Lot 6.01) and Lots 6.02 & 6.03 LLC (Owner as to Lots 6.02 and 6.03)
3. Location of property 145 West Main Street
4. Block(s) 106 Lot(s) 6.01-6.03 Zoning district R-5
5. Structural plans Yes No Front Elevation Yes No
6. Name of development, if any _____
7. Are all lots to be approved owned by same person,
corporation, or partnership? Yes No
8. If answer to #7 is no, give names of all owners. _____
9. Proposed uses of land and buildings
A. Multiple family dwelling structures Yes _____
Number of dwelling units 16
B. Commercial Use _____ C. Industrial Use _____
D. Other _____
10. If 1, 2 or 9 is in the name of a partnership or
corporation, list name and address of the attorney who
will represent the applicant. Matthew G. Capizzi, Esq.
11 Hillside Avenue, 2nd Fl., Tenafly, NJ 07670 Phone 201-266-8300
11. Name of architect/engineer/surveyor Michael Hubschman P.E., P.P.
Hubschman Engineering Address 263A S. Washington St., Bergenfield, NJ 07621
Phone 201-384-5666 Chris Blake Architect, 24 New Bridge Road, Bergenfield NJ, 07621
201-816-9523
12. Name & Address of site planner if other than #11 _____
Phone _____
13. Land area sq. ft. 15,215 Landscape area sq. ft. _____
Impervious surface area sq. ft. 10,789
14. Building area sq. ft. 6,600 structure height 32.99ft
stories 3
15. Parking spaces required 30 parking spaces
provided 25

16. Parking space dimensions, Width 9 Length 18 Driveway
aisle width _____ Angle of parking: Parallel 45
60 90
17. Loading space(s) required NA Proposed loading
spaces _____
18. Loading space dimensions Width _____ Length _____
19. Are any new signs proposed Yes _____ No xxx
20. Existing signs, None xxx Will Remove _____ To Remain
Renovate _____
21. Are there any deed restrictions in force on this
property? Yes _____ No xxx If yes, include a copy
of the deed.
22. Is this or any part of this property in flood zone?
Yes _____ No xxx
23. Does this property border any county road? Yes _____ No xxx
24. Are there presently any utilities to this property?
Gas, xxx Electric, xxx Storm drains, _____
Telephone, _____ Cable TV, _____ Sanitary Sewers, xxx
25. Is this property within 200' of any other municipality?
Yes _____ No xxx
26. Are any variances required because of this application?
Yes xxx No _____
27. If answer to #26 was yes, state all variances required.
Use xxx Lot area _____ Lot frontage _____
Front yard xxx* Side yard _____ Rear Yard xxx
Total side yard _____ Parking xxx Buffer _____
Other Maximum Impervious Lot Coverage, Maximum Lot Coverage, Building Height, and
and Minimum Front Yard Setback @ N Franklin Ave.
28. Has a previous variance application been filed on this
property? Yes xxx No _____
29. Is this application filed because of existing zoning
violation? Yes _____ No xxx

All questions must be answered or this application may be
deemed to be incomplete.

I, certify the above information and documents accompanying
this application are true. (Willfully false statements are in
violation of the law).

[Signature] / _____ / _____
Signature of Applicant Date Signature of Owner if Date
other than applicant



BOROUGH OF BERGENFIELD

198 NORTH WASHINGTON AVENUE
BERGENFIELD, NEW JERSEY 07621

CONSTRUCTION CODE DEPT.
(201) 987-4055 EXT. 1-4092
FAX: (201) 985-7976

May 28, 2020

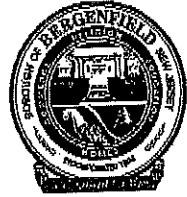
145 W. Main Street, LLC
145 W. Main Street
Bergenfield, NJ 07621

RE: Multi-family Dwelling

Dear 145 W. Main Street, LLC

Your application for change of use to a multi-family dwelling R-5 Zone to RM Zone has been denied for the following reasons:

1. Change of use from R-5 to RM Zone.
2. Maximum density 12 units per acre 43,560 sq. feet. Proposed 16 units on 14,469 sq. feet.
3. Minimum front yard setback R-5 & R-6 25 sq. feet. Proposed front yard 22.9 sq. feet.
4. Minimum rear yard setback R-5 & R-6 25 sq. feet. Proposed rear yard 20 sq. feet.
5. Maximum lot coverage allowed R-6 over 6,000 sq. feet or 30%. Proposed lot coverage 43.38 %.
6. Maximum total improved lot coverage R-6 over 6,000 sq. feet or 35%. Proposed lot coverage 70.91%
7. Required multi-family dwelling units set back 35 sq. feet from front property line and a least 25 sq. feet from any other property line or from curb to street. (see 186-57 yards). Proposed 22.9 sq. feet front yard, 15 sq. feet from both side yards.
8. 186-55 design requirements, site plan for any multi-family development shall not be less than 20,000 sq. feet. Proposed 14,469.44 sq. feet.
9. Minimum required parking for occupants only 32 spaces not including visitor spaces. Proposed 25 parking spaces including two (2) handicap spaces.



BOROUGH OF BERGENFIELD

198 NORTH WASHINGTON AVENUE
BERGENFIELD, NEW JERSEY 07621

CONSTRUCTION CODE DEPT.
(201) 387-4055 EXT. 1-4092
FAX: (201) 385-7376

January 27, 2020

Matthew G. Capazzi, Esq
11 Hillside Avenue, second floor.
Tenafly, NJ 07670

RE: Multi-Family Residential Building. 145 W. Main St.

Dear Mr. Capazzi,

Your application to build a multi-family residential building has been denied for the following reasons:

1. A multi-family building is not permitted in the R-6 zone.
2. Front yard setback required is 25 sq. feet where 20.95 sq. feet is proposed (W. Main).
3. Rear yard setback required is 25 sq. feet where 18 sq. feet is proposed.
4. Maximum building coverage permitted is 30% where 41.24 % is proposed.
5. Maximum building height permitted is 30 feet where 36.4 feet is proposed.
6. Maximum number of stories permitted is 2 where 3 are proposed.
7. Maximum improved lot coverage permitted is 35% where 75.16% is proposed.
8. Number of parking spaces required is 29 where 15 are proposed.

You have the right to appeal my decision to the zoning board of adjustment. You must contact the Building Department to obtain the proper applications.

If you have any question on the above matter, please contact our office. You can call the Building Department at 201-387-4055 Ext. 4

Sincerely,

Harry Hillenius
Zoning Officer

Borough of Bergenfield
Site Plan Committee Minutes
February 10, 2020

1. Call to Order

The meeting was called to order at 7:00 PM

2. Roll Call:

<u>Richard Morf</u>	<u>Robert Rivas</u>		
<u>Gerard Naylis</u>		<u>John Pampaloni</u>	<u>Michael Ravenda</u>
<u>Perry Sulich</u>	<u>Joseph Scalora</u>		
<u>Robert Giacomelli</u>	<u>R Mader</u>		

3. Item 1.

JAH Realty Association

Site Address: 205-207 North Washington Avenue

Seeks to convert first floor office space into 4 - 1 bedroom apartments.

Attorney: Matthew Capizzi
11 Hillside Avenue
Tenafly, NJ 07670
201-266-8300

Architect: Chris Blake Architect
24 New Bridge Road
Bergenfield, NJ 07621
201-816-9523

Engineer: Hubschman Engineering
263 A. South Washington Avenue
Bergenfield, NJ 07621
201-384-5666

Owner was represented by Mr. Capizzi and Mr. Hubschman

Mr. Capizzi introduced the project:

- * Convert existing first floor office space into 4 – 1 bedroom apartments;
The building currently has 4 – 1 bedroom apartments on the second floor and Office space on the first floor.
- * The office space has been vacant for years
- * The new use will greatly reduce the existing parking non-conformity
 - existing use requires 25.8 spaces
 - proposed use will require 14.4 spaces
 - there are 12 spaces currently
- * The owner will continue to be responsible for garbage/recycling and snow removal

4. Item 2.

145 West Main Street LLC

Menachem Stein

492 Cedar Lane, Ste. 519

Teaneck, NJ 07666

Site Address 145 West Main Street

Seeks to build a 15 unit apartment building: 5 – 1 bedroom units 10- 2 bedroom units

Attorney: Matthew Capizzi

11 Hillside Avenue

Tenafly, NJ 07670

201-266-8300

Architect: Chris Blake Architect

24 New Bridge Road

Bergenfield, NJ 07621

201-816-9523

Engineer: Hubschman Engineering

263 A S. Washington Avenue

Bergenfield, NJ 07621

201-384-5666

Mr. Capizzi introduced the project:

- * His client purchased 3 lots on West Main Street
- * Seeking to build a 15 unit apartment building
- * Seeking use and several bulk variances

Mr. Hubschman went over site plan/architectuals:

- * 15 unit building - 3 floors- 10- 2 bedroom units, 5- 1 bedroom units
- * Entrance only from west Main
- * Entrance/exit from N. Franklin
- * Drive under rear of building to parking at back of property
- * Existing 12' sewer easement will remain
- * Stormwater retention system is under rear parking lot

Board Comments:

Mr. Scalora:

- Concerned about the 81 trees being planted around perimeter.
- Questioned the size of the rooms and the ceiling height in relation to the height of building

Mr. Hubschman:

- Landscaping can be adjusted
- Height variance is only needed because of slope of property in the rear

Mr. Naylis:

- Project exceeds density, from 3 – 1 family homes to 15 units

Mr. Morf:

- Entire proposal is too much, parking, height, set backs, lot coverage all problems
- Too big for lot size

- Traffic problems with the school across the street
- Not permissible in R-5 zone
- Worried about setting a precedent

Mr. Naylis:

- Planning board changed the height requirements for B1 & B2 trying to push this type of development into those zones
- That is where this building belongs

Mr. Ravenda:

- Try and buy 2 rear lots to make the project at least somewhat compliable.
- Concerned about the traffic and the school

Mr. Capizzi:

- The school traffic and street closing will have to be resolved because the 2 rear lots have been approved

Mr. Morf:

- Single family homes should be built

Mr. Capizzi:

- The area is currently mixed use

Mr. Morf:

- As existing businesses leave, the property can only be developed as residential

Mr. Naylis:

- The project is too big and will be knocked down as it is.

Mr. Capizzi:

- Can we downsize it
- What about affordable housing units

Mr. Morf:

- Cut the top floor off
- Or remove 1 quadrant completely
- Eliminating 4 2 bedrooms and 2 1 bedroom units

Mr. Rivas:

- Removing quadrant will allow entrance and exit on West Main
- No access from N Franklin

Mr. Perry:

- Question impact on school by adding 15 units
- Is there an elevator or walk up

Mr. Capizzi:

- No elevator

Mr. Ravenda:

- The parking is a major issue, the project needs to be reduced in size
- Concerned about school crossing, is there a patrolman at the corner?

Mr. Mader:

- There is only a crossing guard at that corner

Mr. Giacomelli:

- How are you going to handle garbage
- Where are you going to put the bins
- Snow will have to be trucked off of site

Mr. Naylis:

- The fire trucks will operate from N. Franklin and West Main St. no need to fit on property
- Questioned attic construction and space

- Suggested installing a dry sprinkler system for the attic space piped to a FDC at edge of property. The owner can still use a 13r system but the attic would be covered by the dry system.

Mr. Pampaloni:

- The plan called for the sewer to be tied into the 24" line in the existing easement.
- This line carries 40% of Bergenfield's sewage and ties directly into a line that carries 90% of the sewage.
- This line during storms becomes full and it takes days for it drain.
- The building will not drain into it during those times
- Tie in building sewer into 8" line on West Main which is higher than the 24" line

Mr. Capizzi:

- For the project to work, even if they scale it back, they will still need relief for:
 - o Height
 - o Parking
 - o Setbacks
 - o Lot coverage

Board Recommendations:

- **Project needs to be reduced dramatically:**
 - o Density
 - o Height
 - o Lot coverage
- **Reduce overall building by 30%**
- **Relocate sewer to West Main Street**
- **Ingress/egress only from West Main Street**
- **Eliminate any access to N Franklin**

Meeting Adjourned at 8:11PM

GENERAL NOTES

- TOTAL LOT AREA = 15,215 S.F. (0.349 Ac.)
- ELEVATIONS BASED ON NVD 1929.
- LOCATION OF UTILITIES BASED ON FIELD MARKOUT BY UTILITY COMPANIES.
- CONTRACTOR TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- ALL DAMAGED CURBS AND STREETS TO BE REPAIRED BY CONTRACTOR TO BOROUGH STANDARDS.
- STREET TO BE CLEANED EVERYDAY IF NECESSARY.
- THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 12 UNITS HORIZONTAL (1:12) FOR A MINIMUM DISTANCE OF 8 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. THE PROCEDURE UTILIZED TO ESTABLISH THE FINAL GROUND LEVEL ADJACENT TO THE FOUNDATION SHALL ACCOUNT FOR ALL ADDITIONAL SETTLEMENT OF THE BACKFILL.
- EXISTING IMPERVIOUS AREA = 2,976 S.F.
PROPOSED IMPERVIOUS AREA = 10,098 S.F.
TOTAL INCREASE = 7,070 S.F.
- CONTRACTOR TO UTILIZE EXISTING UTILITY CONNECTIONS WHERE FEASIBLE.
- APPLICANT AND/OR CONTRACTOR SHALL CONTACT MIL ED RAVENHINE, DEPARTMENT OF PUBLIC WORKS INSPECTOR, AT (201) 336-6815 PRIOR TO BEGINNING CONSTRUCTION AND WHEN CONSTRUCTION IS COMPLETE.
- ANY PROPOSED PLANTINGS ALONG THE PROPERTY FRONTAGE WITHIN THE SIGHT TRIANGLE AREA SHALL HAVE A MATURE HEIGHT OF THIRTY (30) INCHES OR LESS, MEASURED FROM THE DRIVEWAY PAVEMENT, TO ENSURE ADEQUATE SIGHT DISTANCE ALONG KNOWNSIDECREEK ROAD.
- ALL TRAFFIC SIGNS MUST CONFORM IN FACE DESIGN AND CONSTRUCTION TO SPECIFICATIONS FOUND IN THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, U.S.D.O.T., FEDERAL HIGHWAY ADMINISTRATION. SPECIFICALLY, REGULATORY & WARNING SIGNS SHALL BE FABRICATED OF FLAT ALUMINUM SHEETS AND SHALL BE COVERED WITH DIAMOND GRADE REFLECTIVE SHEETING SERIES 4,000 TYPE II DESIGNATION PER ASTM.
- ROAD OPENING PERMIT IS REQUIRED AND APPLICATION SHALL BE MADE TO THE BERGEN COUNTY OPERATIONS DIVISION AND FEES FOR THE SAME SHALL BE PAID AS SET FORTH THEREIN. A COPY OF SAID PERMIT SHALL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ECONOMIC DEVELOPMENT PRIOR TO ANY CONSTRUCTION ALONG COUNTY ROAD AND/OR WITHIN THE COUNTY'S RIGHT-OF-WAY.
- ALL MATERIALS AND CONSTRUCTION PERFORMED IN ANY OF THE COUNTY OF BERGEN'S RIGHT-OF-WAY/ROAD WIDENING EASEMENT SHALL BE IN ACCORDANCE WITH CURRENTLY ADOPTED NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (2007 EDITION OR NEWER) AS MODIFIED BY ANY SUPPLEMENTARY SPECIFICATIONS AND AMENDMENTS BY THE COUNTY OF BERGEN. THIS WORK INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING: MONUMENTS, REFERENCE MARKERS, CURBS, SIDEWALKS, GUIDE RAIL & END TREATMENTS, FENCES, RETAINING WALLS, STORM DRAINAGE PIPES, STORM DRAINAGE STRUCTURES, BRIDGES & OVERLAYS AND ROADWAY CONSTRUCTION (DITCHES AND/OR CORRECTIONS) DEEMED NECESSARY TO CONFORM TO ANY SPECIFICATIONS AND DETAILS SHALL BE THE RESPONSIBILITY OF THE PROJECT'S APPLICANT, DEVELOPER, CONTRACTOR AND/OR PROPERTY OWNER.
- COUNTY SIGHT DISTANCE CRITERIA - THE DRIVER'S POSITION SHALL BE FIFTEEN (15) FEET BEHIND THE CURB LINE. THE DRIVER'S EYE LEVEL SHALL BE SET AT A POINT THREE AND A HALF (3.5) FEET ABOVE THE DRIVEWAY PAVEMENT AND THE DRIVER SHOULD BE CAPABLE OF SEEING AN OBJECT TWO (2) FEET HIGH PLACED IN THE CENTER OF ALL LANES. DEPICTED SIGHT DISTANCES REFLECT MAXIMUM CLEAR SIGHT DISTANCE.
- THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 12 UNITS HORIZONTAL (1:12) FOR A MINIMUM DISTANCE OF 8 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. THE PROCEDURE UTILIZED TO ESTABLISH THE FINAL GROUND LEVEL ADJACENT TO THE FOUNDATION SHALL ACCOUNT FOR ALL ADDITIONAL SETTLEMENT OF THE BACKFILL.
- ANY EXISTING CURB AND SIDEWALK ALONG THE COUNTY ROAD FRONTAGE BE REMOVED AND REPLACED WITH NEW FULL HEIGHT CURB (8") AND SIDEWALK IN CONFORMANCE TO THE COUNTY ENGINEER'S DESIGN STANDARDS.
- RELOCATION OF UNDERGROUND ELECTRIC SERVICE THAT IS NECESSITATED BY ANY MODIFICATIONS/REMOVAL/RELOCATION OF UTILITY POLES IS THE RESPONSIBILITY OF THE PROPERTY OWNER, AND NOT THE COUNTY OF BERGEN.
- THE PROJECT SHALL COMPLY WITH ALL THE REQUIREMENTS SET FORTH BY THE BERGEN COUNTY SOIL CONSERVATION DISTRICT (N.J.S.A. 4:24-43). A COPY OF THE SOIL CONSERVATION DISTRICT APPROVAL LETTER SHALL BE SUBMITTED TO THE COUNTY PLANNING BOARD.
- ALL EXISTING OR PROPOSED SIDEWALKS, CURBING AND HANDICAP RAMPS MUST BE CONSTRUCTED AND/OR RECONSTRUCTED TO MEET THE CURRENT REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA). THE DESIGN/CONSTRUCTION OF THE HANDICAPPED RAMP AND THE TYPE OF TRUNCATED DOME SURFACE SHALL BE SPECIFIED & CERTIFIED BY THE MUNICIPAL ENGINEER OR HIS DESIGNEE, PURSUANT TO TITLE 27:16-8. THE COUNTY OF BERGEN MAINTAINS ROADWAYS BETWEEN CURBLINES OR EDGES OF ASPHALT AND IS NOT RESPONSIBLE FOR THESE IMPROVEMENTS.
- ALL IDENTIFICATION AND COMMERCIAL SIGNS AT THE DRIVEWAY ENTRANCE/EXIT SHALL BE OF A TYPE, SIZE AND SO LOCATED AS NOT TO IMPEDE SIGHT DISTANCE ALONG THE COUNTY ROAD.
- CURB AND ROADWAY SPECIFICATIONS ARE TO BE IN ACCORDANCE WITH THE BERGEN COUNTY ENGINEER'S "DESIGN AND CONSTRUCTION PLAN STANDARDS".
- ALL PAVEMENT MARKINGS/STRIPEWORK WITHIN THE COUNTY RIGHT-OF-WAY SHALL BE OF A REFLECTIVE THERMOPLASTIC MATERIAL APPLIED IN ACCORDANCE WITH BERGEN COUNTY DESIGN STANDARDS AND THE MANUFACTURER'S SPECIFICATIONS FOR APPLICATION.
- ALL INLETS WITHIN THE COUNTY R.O.W. SHALL HAVE BICYCLE GRATES (CAMPBELL FOUNDRY PATTERN #2617), AND "M-ECO" CURB PIECES (CAMPBELL FOUNDRY PATTERN #2618). ALL GOODS AND PRODUCTS TO BE USED SHALL BE AMERICAN MADE, WHEREVER AVAILABLE, CONSISTENT WITH STATE STATUTE 40A:11-18.
- ALL EXISTING TRAFFIC CONTROL SIGNS SHALL BE RESET AT THE TIME OF CONSTRUCTION AND NOT STOCKPILED.
- APPLICANT SHALL PROVIDE THE COUNTY WITH REVISED DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO ANY CHANGES OR MODIFICATIONS NECESSITATED BY FIELD CONDITIONS.
- REFUSE REMOVAL TO BE PRIVATE HAULER.

I CONSENT TO THE FILING OF THIS SITE PLAN.

OWNER	DATE	BOROUGH ENGINEER	DATE
APPLICANT	DATE	CONSTRUCTION OFFICIAL	DATE

SITE PLAN OF PROPOSED RESIDENTIAL BUILDING
LOT 6.01, 6.02 & 6.03 BLOCK 106 ZONE R-5

DATE: SCALE: 1"=20'

APPLICANT: 145 WEST MAIN STREET, LLC
ADDRESS: C/O MATTHEW CAPREZZI, ESQ.
11 HILLSIDE AVENUE, 2ND FL.
LUNAPLY, NJ 07670

I HEREBY CERTIFY THAT I HAVE PREPARED THIS SITE PLAN AND THAT ALL DIMENSIONS AND OTHER INFORMATION SET FORTH ARE CORRECT.

Michael J. Hubschman, P.E.
N.J.P.E. No. 29497
TITLE AND LICENSE NUMBER

BOROUGH ENGINEER

CONSTRUCTION OFFICIAL

OCCUPANCY PERMIT ISSUED

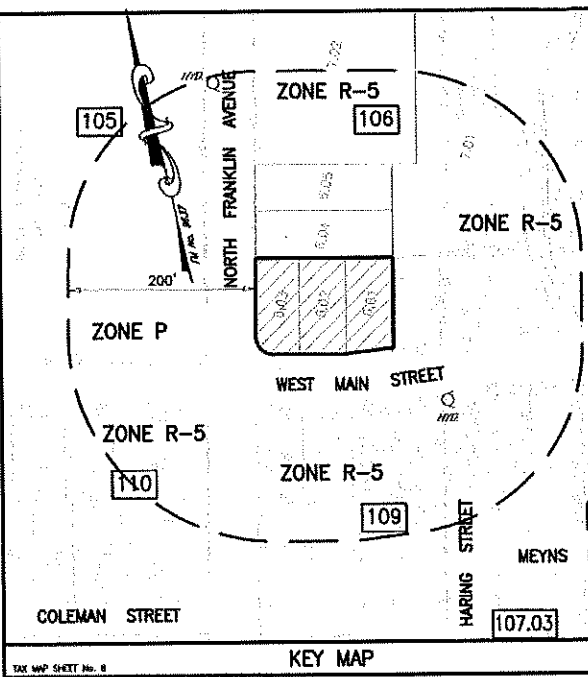
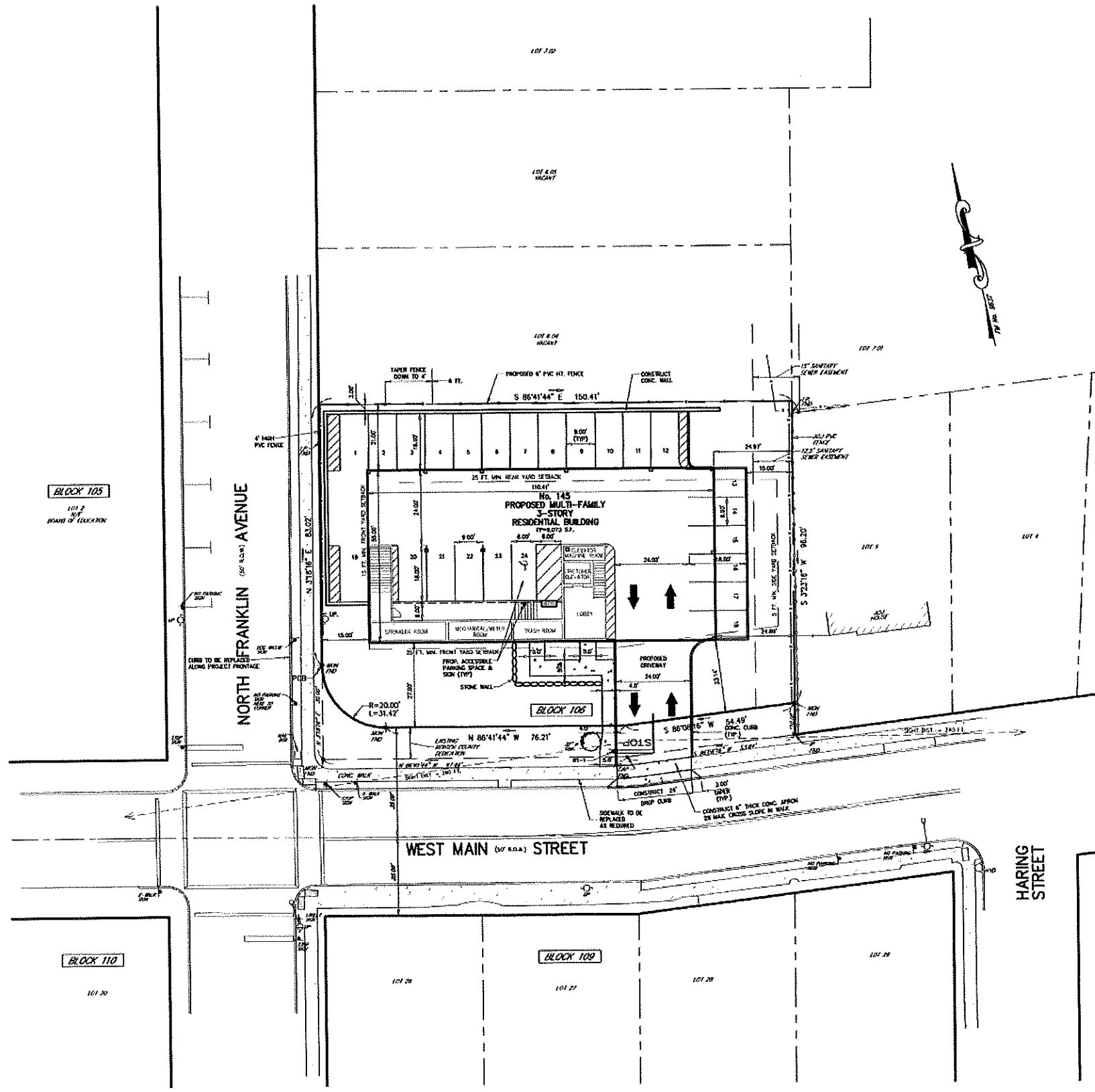
IT IS HEREBY CERTIFIED THAT TAX PAYMENTS ARE CURRENT.

TAX COLLECTOR

DATE

APPROVED BY THE COUNTY PLANNING BOARD
COUNTY OF BERGEN, NEW JERSEY

THIS IS TO CERTIFY THE COMPLETENESS OF THE ABOVE REFERENCED DEVELOPMENT APPLICATION.



ZONING NOTES

R-5, ZONE
PROPOSED MULTIFAMILY DWELLING

MIN. LOT AREA	5,000 S.F.	PROPOSED	15,215 S.F.
MIN. LOT WIDTH <td>50 FT.</td> <td>50 FT.</td> <td>50 FT.</td>	50 FT.	50 FT.	50 FT.
WEST MAIN STREET <td>50 FT.</td> <td>50 FT.</td> <td>50 FT.</td>	50 FT.	50 FT.	50 FT.
NORTH FRANKLIN AVENUE <td>50 FT.</td> <td>50 FT.</td> <td>50 FT.</td>	50 FT.	50 FT.	50 FT.
MAX. MP. LOT COVERAGE <td>40%</td> <td>66.36% *</td> <td></td>	40%	66.36% *	
MAX. LOT COVERAGE (BLDG) <td>40%</td> <td>39.91%</td> <td></td>	40%	39.91%	
MAX. BUILDING HEIGHT <td>30 FT. / 2 STY.</td> <td>32.16 FT. / 3 STY. *</td> <td></td>	30 FT. / 2 STY.	32.16 FT. / 3 STY. *	
MIN. FRONT YARD <td>25 FT.</td> <td>23.14 FT. *</td> <td></td>	25 FT.	23.14 FT. *	
WEST MAIN STREET <td>15 FT.</td> <td>15.00 FT.</td> <td></td>	15 FT.	15.00 FT.	
NORTH FRANKLIN AVENUE <td>5 FT.</td> <td>24.89 FT.</td> <td></td>	5 FT.	24.89 FT.	
MIN. SIDE YARD (ONE) <td>10 FT.</td> <td>N/A</td> <td></td>	10 FT.	N/A	
MIN. REAR YARD <td>25 FT.</td> <td>21.00 FT. *</td> <td></td>	25 FT.	21.00 FT. *	
MIN. PARKING <td>26 SPACES</td> <td>24 SPACES *</td> <td></td>	26 SPACES	24 SPACES *	

* VARIANCE REQUIRED.

PROPOSED BLDG. COVERAGE CALC'S

BUILDING = 6,073 SF / 15,215 S.F. = 39.91%

PROPOSED IMPERVIOUS COVERAGE CALC'S

LOT COVERAGE = 6,073 S.F.
PARKING & DRIVEWAY = 3,755 S.F.
WALKS = 268 S.F.
TOTAL IMP. COV. = 10,096 SF / 15,215 S.F. = 66.36%

PARKING DATA

(12) - 1 BEDROOM UNIT 12 x 1.8 = 21.6 SPACES
(2) - 2 BEDROOM UNIT 2 x 2.0 = 4.0 SPACES
TOTAL (14) = 25.6 SPACES REQUIRED
= 26 SPACES REQUIRED
= 24 SPACES PROVIDED

- REFERENCES**
- A CERTAIN MAP ENTITLED "SOUTH PRESBYTERIAN CHURCH MAJOR SUBDIVISION PLAN, BOROUGH OF BERGENFIELD, BERGEN COUNTY, NEW JERSEY" FILED IN THE BCCO AS MAP No. 8637.
 - BOROUGH OF BERGENFIELD TAX MAP.

DRAWING LIST:

- 3821-1 SITE PLAN
- 3821-2 GRADING, DRAINAGE AND UTILITY PLAN
- 3821-3 SOIL EROSION AND SEDIMENT CONTROL PLAN; DETAILS
- 3821-4 STORMWATER MANAGEMENT DETAILS
- 3821-5 LIGHT AND LANDSCAPING PLAN; DETAILS
- 3821-6 EXISTING CONDITIONS PLAN

NO.	REVISIONS	DATE	BY
1	ISSUED FOR PERMIT	12-22-20	MJM
2	REDESIGNED TO 14 UNITS	5-1-20	N.M.

SITE PLAN

LOTS 6.01, 6.02 & 6.03
PROPOSED RESIDENTIAL BUILDING
No. 145 WEST MAIN STREET
BOROUGH OF BERGENFIELD, BERGEN COUNTY
APPLICANT: 145 WEST MAIN STREET, LLC
C/O MATTHEW CAPREZZI, ESQ.
11 HILLSIDE AVENUE, 2ND FL.
LUNAPLY, NJ 07670

ROBERT J. MUELLER
PROFESSIONAL LAND SURVEYOR
N.J. LIC. NO. 37206

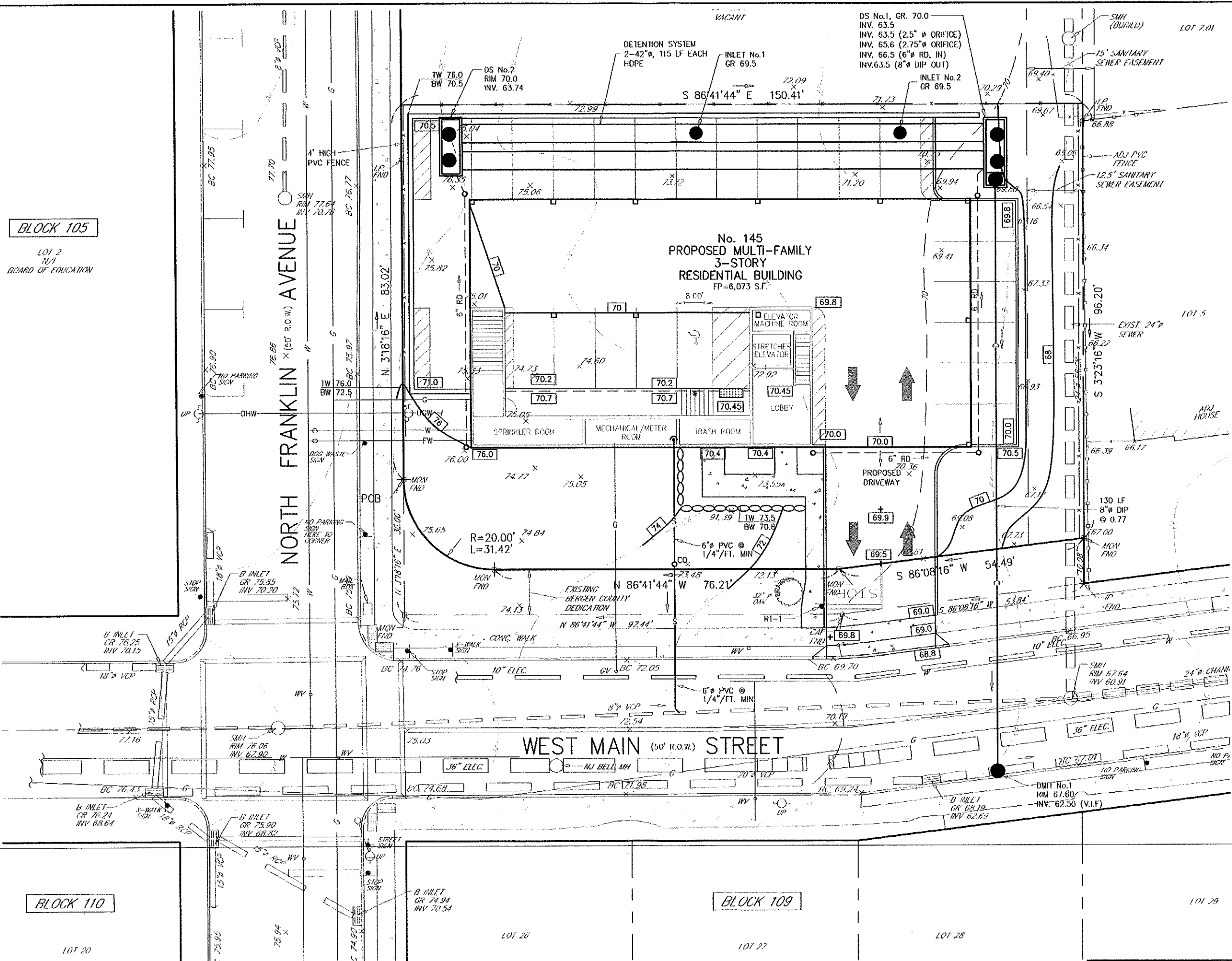
MICHAEL J. HUBSCHMAN P.E., P.P.
PROFESSIONAL ENGINEER AND PLANNER
N.J.P.E. NO. 29497 N.J.P.P. NO. 3200

HUBSCHMAN ENGINEERING, P.A.

DRAWN BY: B
CHECKED BY: MJM
SCALE:
DRAWING NO.: 3821

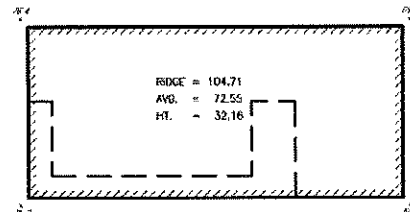
BLOCK 105

LOT 2
N/F
BOARD OF EDUCATION



SANITARY FLOW CALCS

(1) - 1 BEDROOM UNIT	x 150 GPD	= 1,500 GPD
(2) - 2 BEDROOM UNIT	x 225 GPD	= 450 GPD
PROPOSED SANITARY FLOW		= 2,250 GPD



BUILDING HEIGHT
(EX. GR. 04' OFF CORNER)

BLOCK 110

LOT 20

BLOCK 109

LOT 27

2	REDUCED TO 14 UNITS	12-22-20	M.M.
1	MODIFIED BUILDING & SITE LAYOUT	5-1-20	M.M.
NO.	REVISIONS	DATE	BY

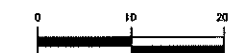
GRADING, DRAINAGE & UTILITY PLAN

LOTS 601, 602 & 603
PROPOSED RESIDENTIAL BUILDING
No. 145 WEST MAIN STREET
 BOROUGH OF BERGENFIELD, BERGEN COUNTY
 APPLICANT: 145 WEST MAIN STREET, LLC
 C/O MATTHEW CAPOZZI, L.S.O.
 11 HELLSIDE AVENUE, 2ND FL.
 TENAFLY, NJ 07620

MICHAEL J. HUBSCHMAN P.E., P.P.
 PROFESSIONAL ENGINEER AND PLANNER
 N.J.P.E. NO. 20497 N.J.P.P. NO. 3200

HUBSCHMAN ENGINEERING, P.A.

DRAWN BY: [Signature]
 CHECKED BY: M.J.H.
 SCALE: 1" = 20'-0"
 DRAWING NO. 2002

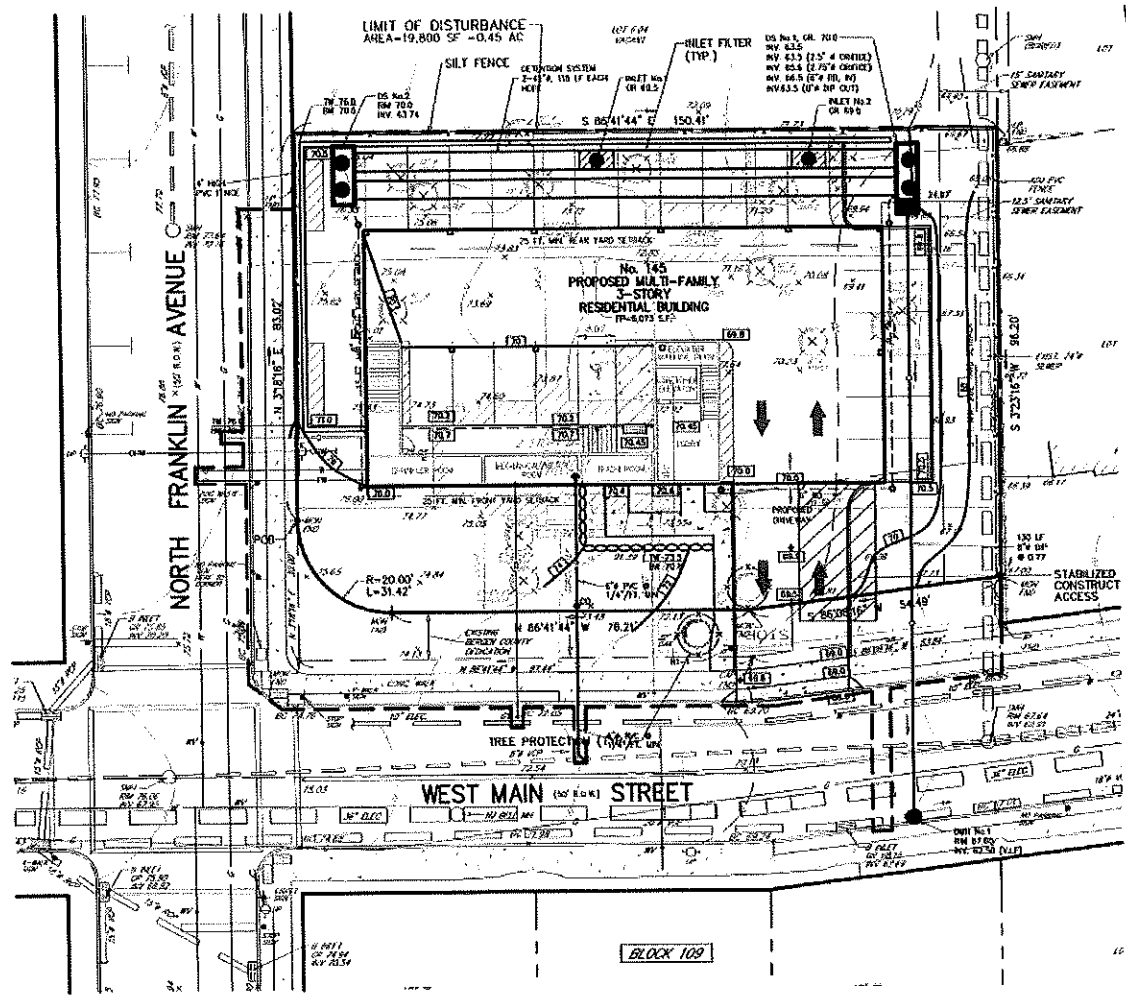


**BERGEN COUNTY SOIL CONSERVATION DISTRICT
SOIL EROSION AND SEDIMENT CONTROL NOTES**

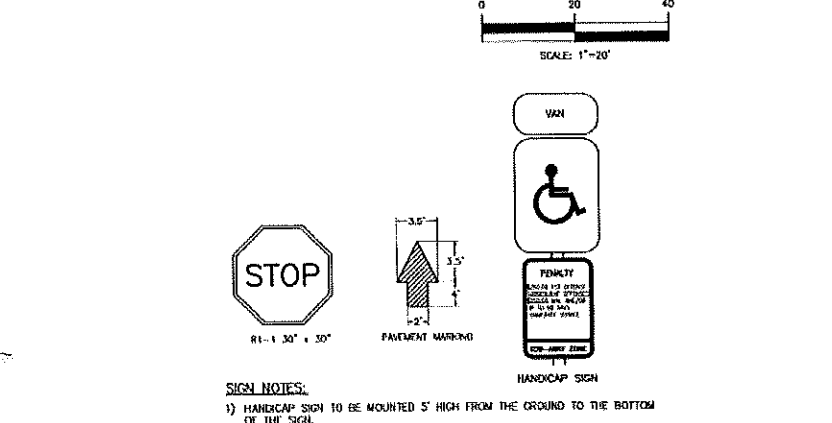
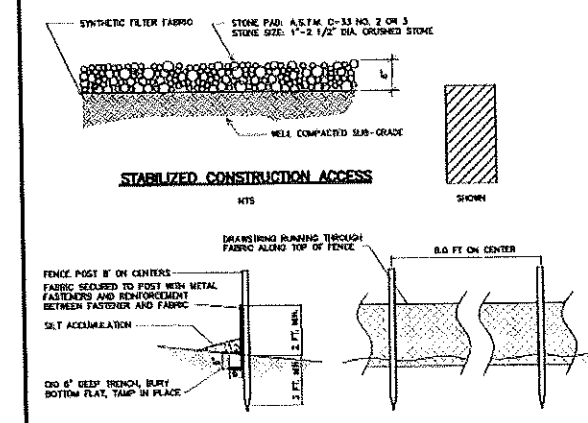
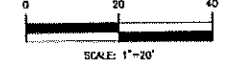
1. All soil erosion and sediment control practices shall be installed in accordance with the Standards for Soil Erosion and Sediment Control in New Jersey (NJ Standards), and all be installed in proper sequence and maintained until permanent stabilization is established.
2. Any disturbed area that is left exposed for more than 48 hours (96 hours and not subject to application within what immediately remains a temporary seeding and mulching. If the exposed area is left exposed for more than 48 hours, it shall be mulched with a minimum of 2 lbs per acre of straw or other approved methods (i.e. hay and straw, mulch, netting, or liquid mulch).
3. Immediately following initial disturbance or rough grading, all erosion areas shall be seeded with a temporary seeding in combination with straw mulch or a suitable equivalent at a rate of 2 lbs per acre according to the NJ Standards.
4. Stabilization Techniques
 - a. Temporary Seeding and Mulching
 - Function - Apply 1000 LBS of seed and mulch to exposed areas.
 - Seed - approved mixture 300 lbs/acre (2.3 lbs/A, 0.002 lb) or other approved seed.
 - Mulch - approved mixture 300 lbs/acre (2.3 lbs/A, 0.002 lb) or other approved mulch.
 - Rate - applied above or below at a rate of 70 to 90 lbs/A, 0.002 lb applied to achieve 75% soil surface coverage which shall be anchored by approved methods (i.e. hay and straw, mulch netting, or liquid mulch).
 - b. Permanent Seeding and Mulching
 - Function - A written application for an average depth of 1" minimum of 4" seed in place to establish ground cover.
 - Seed - approved mixture 300 lbs/acre (2.3 lbs/A, 0.002 lb) or other approved seed.
 - Mulch - approved mixture 300 lbs/acre (2.3 lbs/A, 0.002 lb) or other approved mulch.
 - Rate - applied above or below at a rate of 70 to 90 lbs/A, 0.002 lb applied to achieve 85% soil surface coverage which shall be anchored by approved methods (i.e. hay and straw, mulch netting, or liquid mulch).
5. The site shall be graded and maintained such that of 100% erosion control is desired to soil erosion and sediment control facilities.
6. Soil erosion and sediment control measures will be inspected and maintained at a regular basis, including other every storm event.
7. Structures are not to be located within 50' of a drainage, when necessary a drainage facility the base of all structures shall be protected by a suitable permanent barrier or wall.
8. A graded slope, where when clearing is desired to be installed where a construction access road intersects any point. Soil shall not be composed of 1" - 2" sized stone, 6" dia. will be at least 30' x 100' and should be underlain with a suitable synthetic sediment filter fabric and reinforcement.
9. Maximum side slopes of all exposed surfaces shall not exceed 3:1 unless otherwise approved by the District.
10. Driveways shall be installed with 1" - 2" sized stone or aggregate prior to installing lot construction.
11. All wet areas, exposed, eroded or exposed outside the limit of disturbance or onto public right-of-way, will be removed immediately. Paved roadways must be kept clear of all items.
12. Catch basins shall be protected with an inlet filter designed in accordance with Section 16-1 of the NJ Standards.
13. Storm drainage outlets will be installed, as required, before the drainage points become operational.
14. Overseeing operations must discharge directly into a sediment control bag or other approved filter in accordance with Section 16-1 of the NJ Standards.
15. That shall be conducted to the application of water, calcium chloride or other approved method in accordance with Section 16-1 of the NJ Standards.
16. To maintain other construction are to be protected with a suitable fabric installed at the top line or beyond in accordance with Section 9-1 of the NJ Standards.
17. The project owner shall be responsible for any erosion or sedimentation that may occur before stormwater outlets or off-site as a result of construction of the project.
18. Any reason to the District Soil Erosion and Sediment Control Plan must be submitted to the District to review and approved prior to implementation in the field.
19. A copy of the District Soil Erosion and Sediment Control Plan must be available at the project site throughout construction.
20. The Bergen County Soil Conservation District must be notified, in writing, at least 48 hours prior to any land disturbance. Bergen County Soil Conservation District, 200 West Main Street, Suite 100, Hackensack, NJ 07601, Tel: 201-261-7112.
21. The Bergen County Soil Conservation District may request additional measures to reduction or on off-site erosion problems during construction.
22. The owner must obtain a District based report of conditions prior to the issuance of any certificate of temporary. The District requires at least one week's notice to initiate the installation of all soil erosion and sediment control measures. All site work must be completed, including temporary/intermediate stabilization of all exposed areas, prior to the issuance of a report of compliance by the District.

SEQUENCE OF CONSTRUCTION

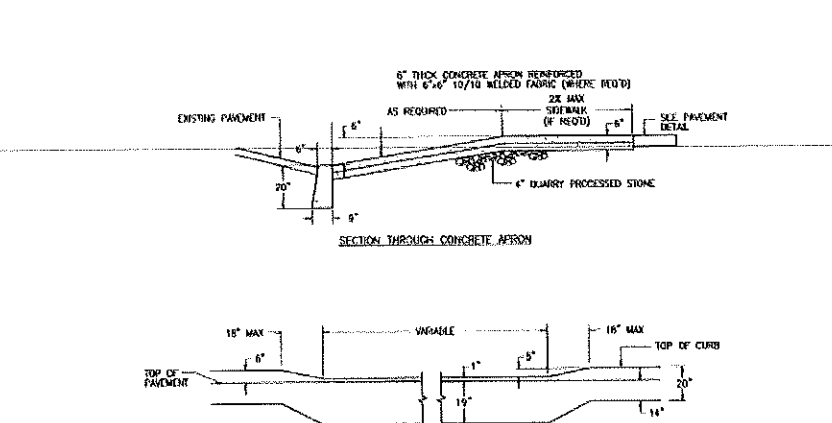
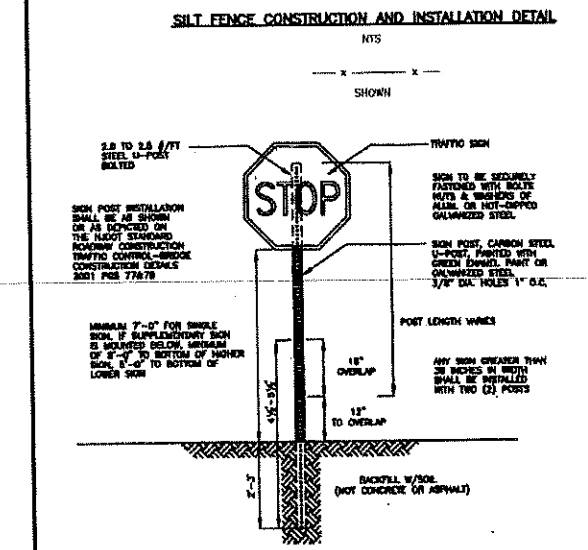
1. INSTALL 2" X 2" TRACKING BED AT CONSTRUCTION ENTRANCE
2. INSTALL SILT FENCE ALONG PROPERTY SUBJECT TO SOIL EROSION
3. ACCORDING TO PLAN
4. REMOVE EXISTING BUILINGS
5. REMOVE TOPSOIL AND STOODCOP
6. PROVIDE ROUGH GRADING FOR SITE
7. EXCAVATE FOR NEW BUILDING, CONCRETE AND FINISH BASE COURSE ON DRIVEWAY
8. PROVIDE FINAL CURBING, TOPSOIL REPLACEMENT, AND LANDSCAPING (UNLESS APPLICABLE TOPSOIL TO AN AVERAGE DEPTH OF 5", MINIMUM 10" IF TYPED IN PLACE)
9. PROVIDE FINAL PAVING
10. REMOVE SOIL EROSION CONTROL DEVICES AS DIRECTED BY LOCAL AGENCY



SOIL EROSION & SEDIMENT CONTROL PLAN

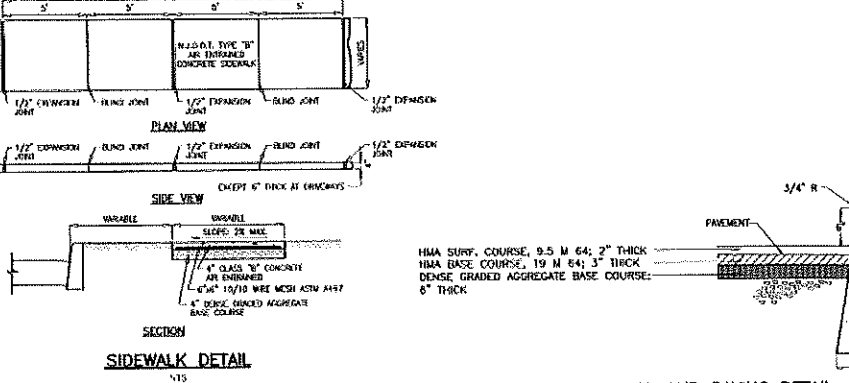


SIGN NOTES:
 1) HANDICAP SIGN TO BE MOUNTED 5' HIGH FROM THE GROUND TO THE BOTTOM OF THE SIGN.
 ALL TRAFFIC CONTROL SIGNS MUST CONFORM IN FACE DESIGN (TYPE X, REFLECTIVE SHEETING AND CONSTRUCTION TO SPECIFICATIONS FOUND IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, U.S. D.O.T., FEDERAL HIGHWAY ADMIN. 2000, AS REVISED. SPECIFICALLY, REGULATORY AND WARNING SIGNS SHALL BE FABRICATED OF FLAT ALUMINUM SHEETS AND SHALL BE COVERED WITH TYPE X (RANDOM GRADE COATED) WIDE-ANGLE HIGH PERFORMANCE PRISMATIC RETRO-REFLECTIVE SHEETING SERIES 4090 PER 3M OR EQUIVALENT VISUAL PERFORMANCE.

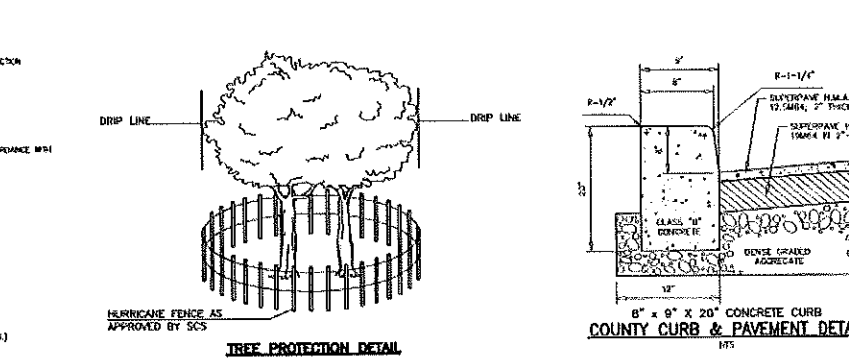


- SIDEWALK GENERAL NOTES**
- 1) CURBING IS TO BE IN A MINIMUM 12\"/>
 - 2) EXPANSION JOINTS ARE TO BE 1/2\"/>
 - 3) ALL JOINTS ARE TO BE 1/2\"/>
 - 4) CONTRACTOR SHALL COMPLY WITH SECTION 102.06 OF THE NJ STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, THE APPLICABLE SHALL PROVIDE THE MANUFACTURER WITH A DETAIL DRAWING JOINT PATTERN BOTH BEING AND EXPANSION JOINTS TO APPROVE.
 - 5) ALL EDGES SHALL BE FINISHED AND ROUNDED WITH AN EDGING TOOL, HAVE A FINISH OF 1/4\"/>
 - 6) THE SURFACE OF THE CONCRETE SHALL BE FINISHED AS TO MATCH EXISTING AT ALL TIMES.
 - 7) CONCRETE SHALL BE CHECKED OUT WITH A TRANSVERSE TEMPLATE AND FINISHED WITH FLUTED AND STRIPPED EDGES HAVE A SMOOTH SURFACE HAS BEEN OBTAINED.
 - 8) ALL CONCRETE SURFACES SHALL BE TREATED WITH A CONCRETE CURING AND SEALING TREATMENT CONTAINING WITH SECTION 102.03 CURING MATERIALS, MEET STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2001.

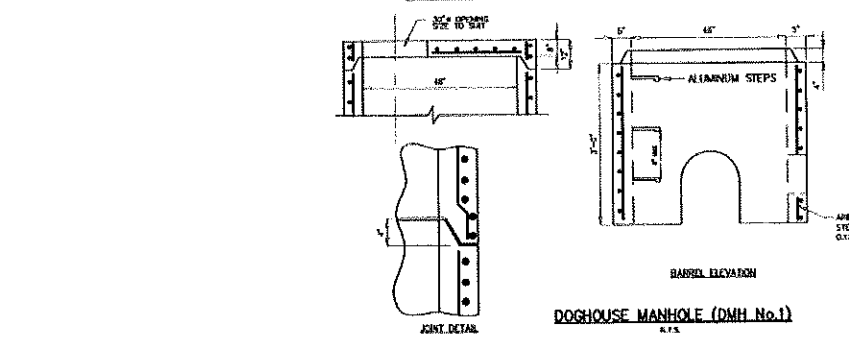
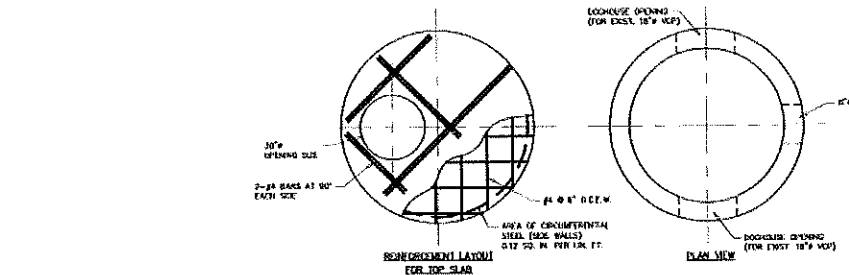
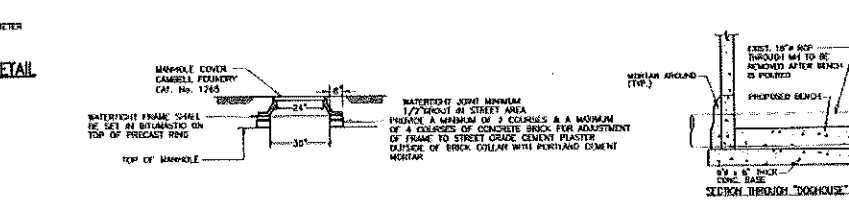
- NOTES**
- 1) MATERIAL BACKFILL AND BEDDING MATERIAL SHALL BE SOIL AGGREGATE DESIGNATION 1.1-A CONFORMING TO THE REQUIREMENTS OF ARTICLE 203 OF TABLE 201-2 OF THE STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES TO CONFORM WITH A.A.S.H.T.O. DESIGNATION M-43-54 (1974) (A.S.T.M. DESIGNATION M44-54, SIZE NO. 8, 1/2\"/>
 - 2) METAL CLASS 50 D.S.P. WHEN DEPTH OF INSTALLATION EXCEEDS 20\"/>



SITE CURB AND PAVING DETAIL



SOR - 35 PVC SANITARY SEWER TRENCH DETAIL



NO.	DESCRIPTION	DATE	BY
1	REVISIONS	12-29-20	N.M.
2	REVISIONS	5-1-20	N.M.

SOIL EROSION & SEDIMENT CONTROL PLAN DETAILS

LOTS 6.01, 6.02 & 6.03
PROPOSED RESIDENTIAL BUILDING
 No. 145 WEST MAIN STREET
 BERGEN COUNTY

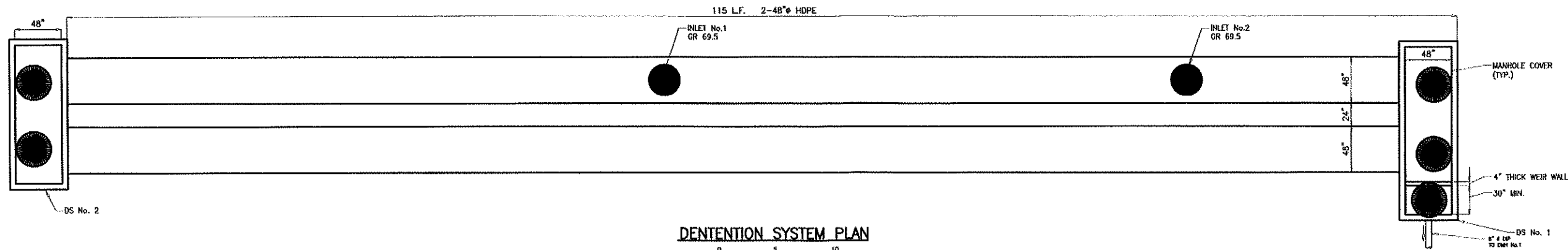
APPLICANT: 145 WEST MAIN STREET, LLC
 C/O MATTHEW CAPEZZI, ESQ.
 11 INGLESDALE AVENUE, 2ND FL.
 TENAFLY, NJ 07670

MICHAEL J. HUBSCHMAN P.E., P.P.
 PROFESSIONAL ENGINEER AND PLANNER
 N.J.P.E. NO. 29497 N.J.P.P. NO. 3200

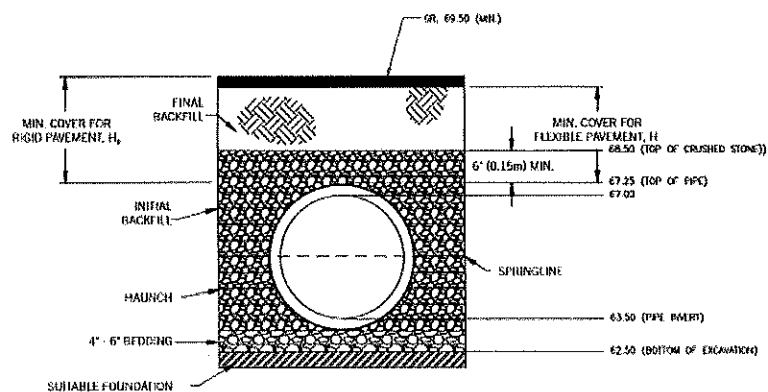
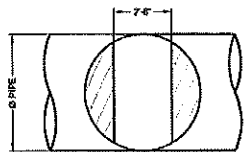
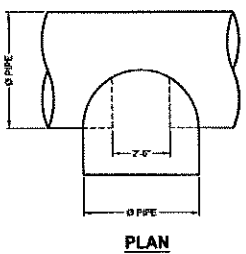
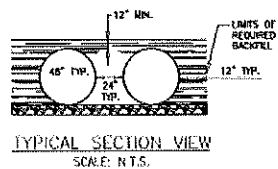
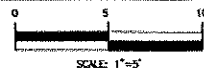
HUBSCHMAN ENGINEERING, P.A.

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 CHECKED BY: [Signature]
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 DRAWING NO. 382

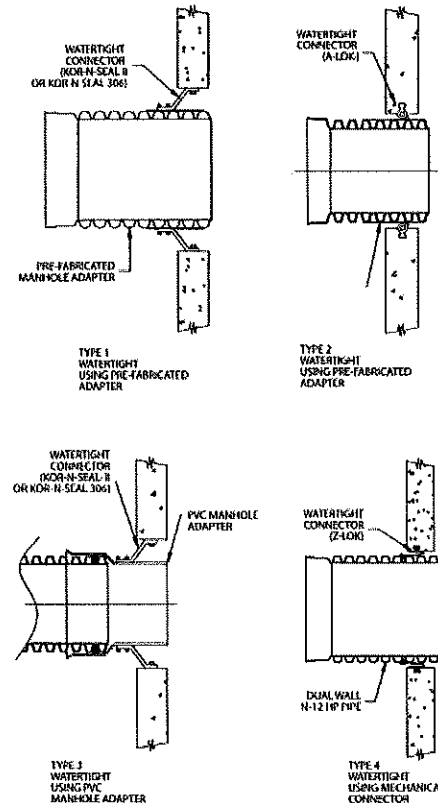
SOIL EROSION EXEMPTION NOTE:
 THIS PROJECT IS EXEMPT FROM SOIL COMPACTION TESTING AND REMEDIATION AS IT IS IN AN URBAN DEVELOPMENT AREA.



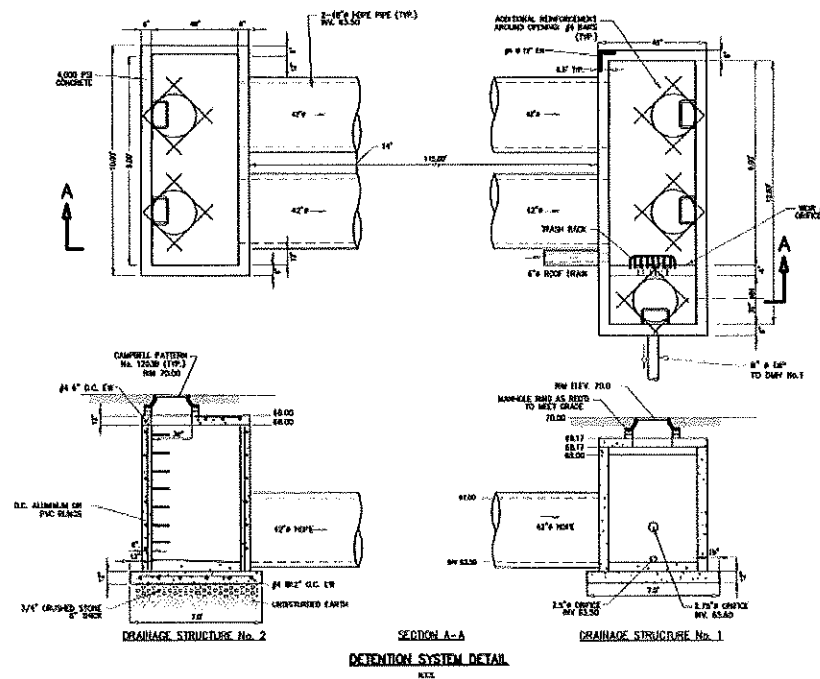
DENTENTION SYSTEM PLAN



FILL AS SPECIFIED BY DESIGN ENGINEER
 STRUCTURAL BACKFILL (COMPACTED CLASS I, II, OR III MATERIAL)
 H, II, = 12" FOR PIPE DIAMETERS UP TO 48" = 24" FOR PIPE DIAMETERS 54" AND 60"
 TOTAL MINIMUM COVER INCLUDES 6" OF STRUCTURAL BACKFILL ABOVE THE PIPE CROWN AND THE FINAL TB!

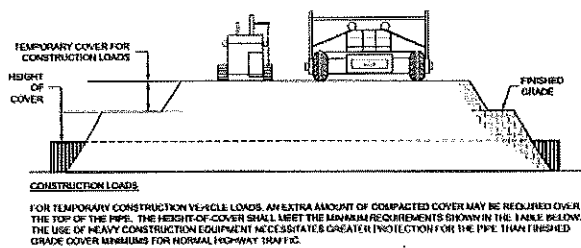


HDPE PIPE CONNECTION TO MANHOLE DETAIL
 NOT TO SCALE



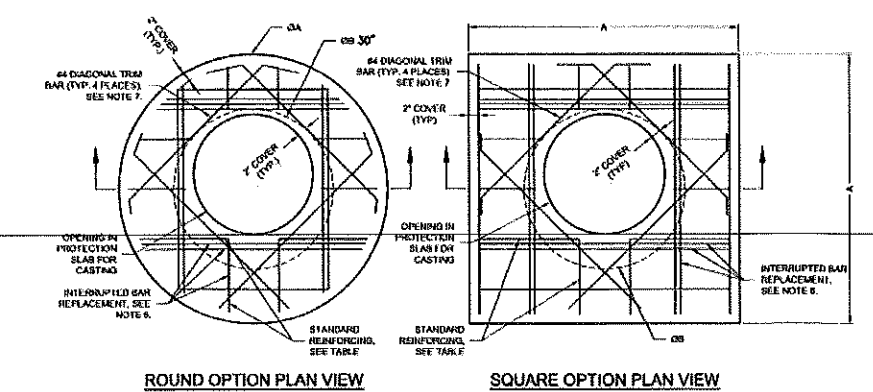
DRAINAGE STRUCTURE DETAIL

NOTE: CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR DS No. 1 AND DS No. 2 TO ENGINEER FOR APPROVAL.



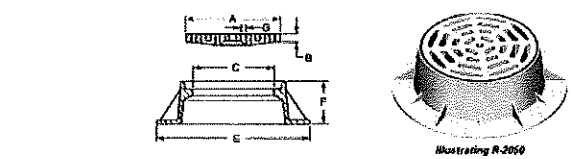
Ø CMP RISER	A	Ø B	REINFORCING	"BEARING PRESSURE (PSF)
30"	Ø 4'-0"	30"	#5 @ 12" O.C. W/ #5 @ 12" O.C. W/	2,120
	4'-0" X 4'-0"	30"	#5 @ 12" O.C. W/ #5 @ 12" O.C. W/	1,530
	Ø 4'-0"	30"	#5 @ 12" O.C. W/ #5 @ 12" O.C. W/	1,530
	4'-0" X 4'-0"	30"	#5 @ 12" O.C. W/ #5 @ 12" O.C. W/	1,530
	Ø 4'-0"	30"	#5 @ 12" O.C. W/ #5 @ 12" O.C. W/	1,530
	4'-0" X 4'-0"	30"	#5 @ 12" O.C. W/ #5 @ 12" O.C. W/	1,530

* ASSUMED SOIL BEARING CAPACITY



MANHOLE CAP DETAIL

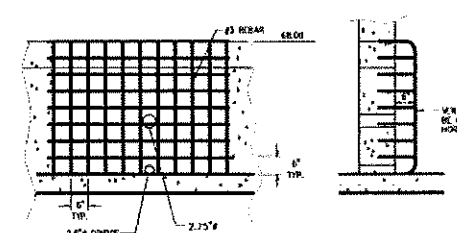
- NOTES:
- DESIGN IN ACCORDANCE WITH AASHTO, 17th EDITION.
 - DESIGN LOAD HS25.
 - EARTH COVER = 1' MIN.
 - CONCRETE STRENGTH = 3,500 psi
 - REINFORCING STEEL = ASTM A615, GRADE 60
 - PROVIDE ADDITIONAL REINFORCING AROUND OPENINGS EQUAL TO THE BARS INTERRUPTED, HALF EACH SIDE. ADDITIONAL BARS TO BE IN HALF EACH SIDE.
 - TRIM OPENING WITH DIAGONAL #4 BARS, EXTEND BARS A MINIMUM OF 12" BEYOND OPENING. BARS AS REQUIRED TO MAINTAIN BAR COVER.
 - PROTECTION SLAB AND ALL MATERIALS TO BE PROVIDED AND INSTALLED BY CONTRACTOR.



Sorted by Clear Opening, Dimension "C"

Catalog Reference	Dimensions in inches						Grate Type	Frame Reference	
	A	B	C	E	F	D			
R-2500	24	1 1/2	36	43	19	1 x 8	R-2500-C		
R-2500 C	30	1 1/2	36	43	15	1 x 8	R-1140-D		
R-2201	24	1 1/2	36	45	8 5/8	1	G	R-1752	
R-1657-A	31 7/8	1 1/2	30	30 1/2	40	8 1/2	1	G	R-1657-A
R-2000-J	24	1	30	30 1/2	8	1 1/2	6	R-2000-J	
R-2000-O	30	1	30	30 1/2	7	2 1/8	6	R-1752-D	
R-2000	30	1 1/2	30	30 1/2	40	8 1/2	1	C, E	R-1657-B
R-2215	30	1 1/2	30	40	5 1/2	1 x 8 U4	6	R-1640-C15	
R-2250	31 7/8	1 1/2	30	40	5 1/2	1/2	Ø	R-1750-C15	
R-2270	30	1 1/2	30	40	7		G, C	R-2500 A	
R-2600-G	24	1 1/2	30	45	7		Seebar	R-1140 B	

NOTE: CONTRACTOR TO PROVIDE SHOP DRAWINGS TO ENGINEER FOR APPROVAL.



TRASH RACK DETAIL

Type of Vehicle	Vehicular Load at Surface psi (kPa)	Temporary Minimum Cover in. (mm) for:	
		4" - 48" (100-1200mm) diameters	54" - 60" (1350 and 1500mm) diameters
Semi-tractor ¹	75 (517)	9 (230)	12 (300)
Loaded pick up truck ²	50 (345)	6 (150)	9 (230)
Skid steer loader ³	25 (172)	3 (80)	6 (150)

2 PRODUCED TO 14 LBS 12-22-20 N.M.
 1 MODIFIED BUILDING & SITE LAYOUT 5-1-20 R.M.
 NO. REVISIONS DATE BY

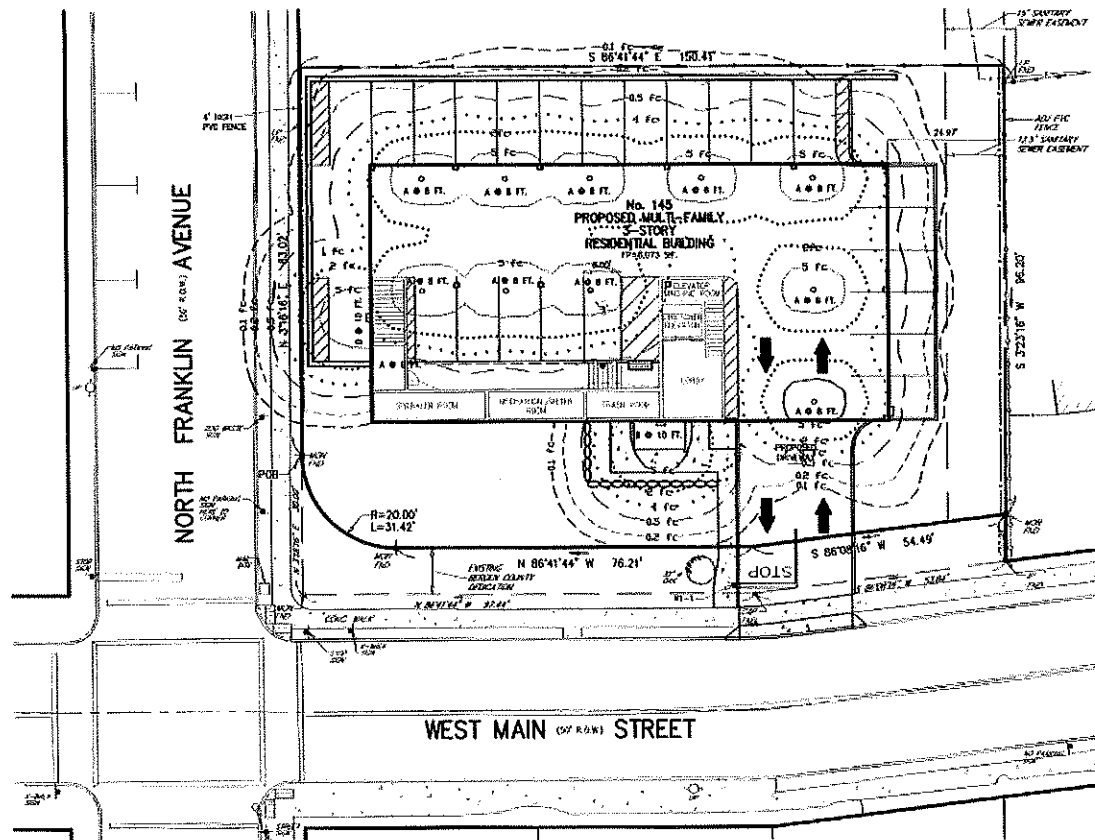
STORMWATER MANAGEMENT DETAIL

LOTS 6.01, 6.02 & 6.03
PROPOSED RESIDENTIAL BUILDING
No. 145 WEST MAIN STREET
 BOROUGH OF BERGENFIELD BERGEN COUNTY
 APPLICANT: 145 WEST MAIN STREET, LLC
 C/O MATTHEW CAPIZZI, ESQ
 11 HILLSIDE AVENUE, 2ND FL.
 TENNY, NJ 07670

MICHAEL J. HUBSCHMAN P.E., P.P.
 PROFESSIONAL ENGINEER AND PLANNER
 N.J.P.E. NO. 29497 N.J.P.P. NO. 3200

HUBSCHMAN ENGINEERING, P.A.

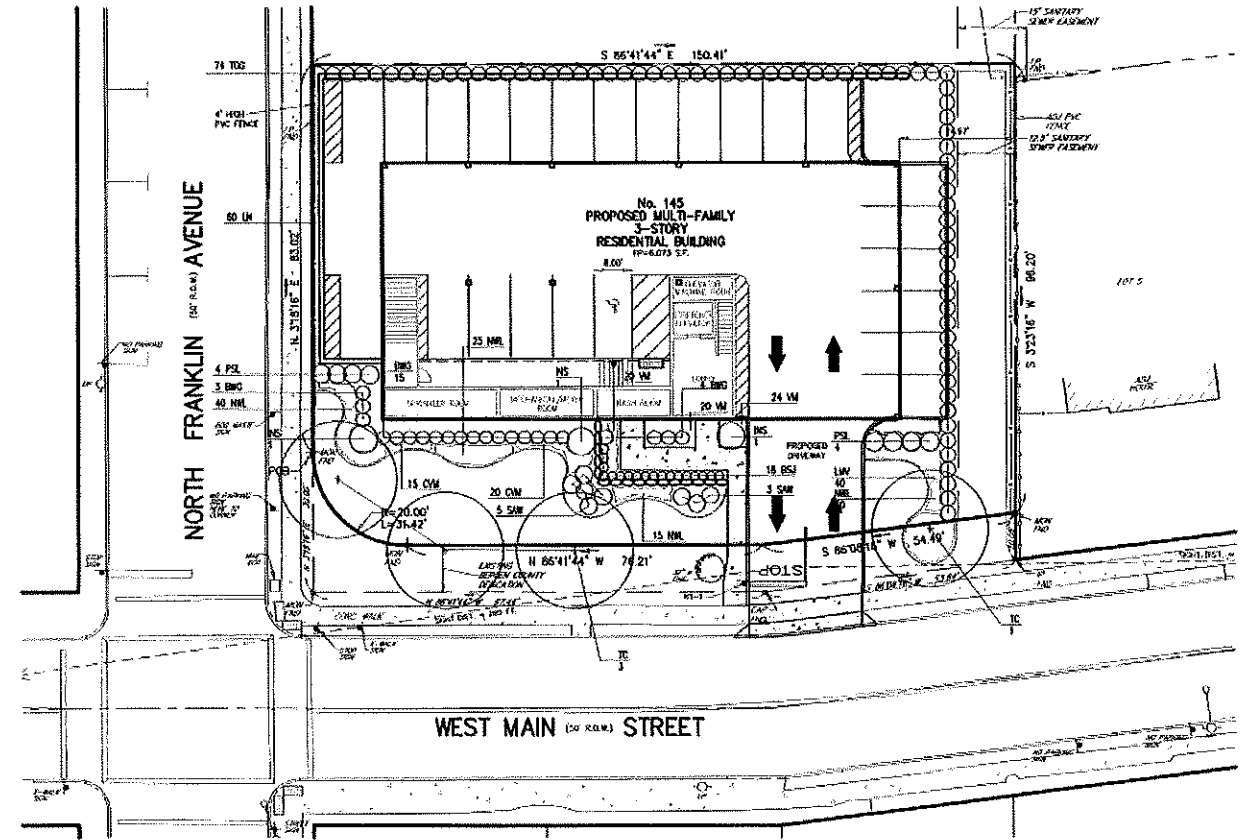
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 CHECK BY: [Signature]
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 DRAWING NO: 3821



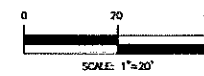
LIGHTING PLAN



Symbol	Qty	Label	Arrangement	Lum. Lumens	ELF	Description	Lum. Watts	Avg. Watts	Total Watts
A	10	CLED52/BL	SINGLE	2232	1.000	CEILING MOUNT	52	52	520
B	2	SUMBN	SINGLE	1855	1.000	WALL MOUNT	18	18	36



LANDSCAPING PLAN

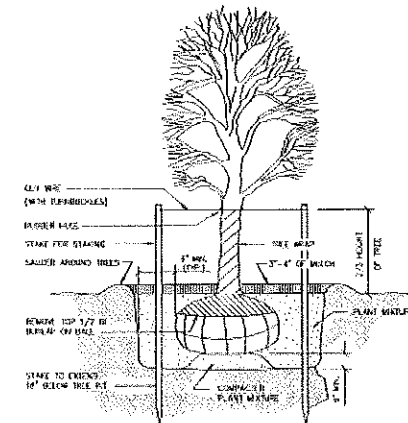


Master Plant List

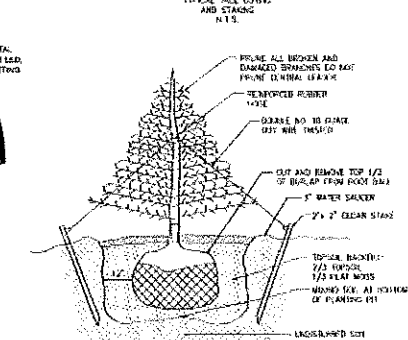
Key	Botanical Name	Common Name	Qty.	Size	Comments
Trees					
INS	Ilex v. 'Nellie Stevens'	Nellie Stevens Holly	2	7'-8' ht.	
TGO	Thuja plicata 'Green Giant'	Green Giant Arborvitae	74	6'-7' ht.	3' o.c.
TC	Tilia cordata 'Greenspire'	Greenspire Littleleaf Linden	4	3.5"-4" cal.	
Shrubs					
BSJ	Buxus 'Jensen'	Jensen Boxwood	18	18" ht.	18" o.c.
BWG	Buxus 'Winter Gem'	Winter Gem Boxwood	22	30" ht.	36" o.c.
PSL	Prunus laurocerasus 'Skip Laurel'	Skip Laurel Cherry Laurel	8	5'-6' ht.	4' o.c.
SAW	Spiraea x bumalda 'Anthony Waterer'	Anthony Waterer Spirea	8	3g	
Perennials/Groundcovers					
CVM	Coreopsis verticillata 'Moonbeam'	Moonbeam Coreopsis	35	1g	18" o.c.
LMV	Liriope muscari 'Variegata'	Variegated Lily Turf	40	1g	18" o.c.
LN	Lysamachia nummularia	Creeping Jenny	60	1g	12" o.c.
NWL	Nepeta 'Walkers Low'	Walkers Low Catmint	110	1g	18" o.c.
VM	Vinca minor	Myrtle	64	1g	12" o.c.

LANDSCAPE SPECIFICATIONS AND PLANTING NOTES

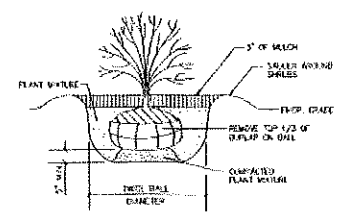
- THE LANDSCAPE CONTRACTOR WILL VERIFY WITH THE ARCHITECT THAT HE IS WORKING FROM THE MOST CURRENT PLAN AND OR LATEST REVISIONS THEREOF, PRIOR TO ORDERING PLANTS AND BEGINNING WORK.
- PROTECT ALL EXISTING VEGETATION TO REMAIN FROM DAMAGE DURING CONSTRUCTION.
- USE EXTREME CAUTION TO PROTECT UTILITIES.
- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE LOCATION OF MECHANICAL EQUIPMENT AND UTILITIES EXISTING OR PROPOSED IN THE AREA TO BE PLANTED, AND WHERE NECESSARY RELOCATE PLANTS AT THE DIRECTION OF THE ARCHITECT.
- QUANTITIES GIVEN IN THE PLANT LIST ARE FOR REFERENCE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIALS REQUIRED TO COMPLETE THE PLANS.
- THE CONTRACTOR SHALL VERIFY ALL GRADES, DIMENSIONS, AND EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- LOCATIONS OF NEW PLANTS SHALL BE STAKED BY THE CONTRACTOR AND APPROVED BY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- ALL BEDS AND TREE SAUCERS SHALL RECEIVE 2 INCHES MINIMUM OF SHREDDED HARDWOOD MULCH, DARK IN COLOR.
- CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR ONE YEAR FROM TIME OF LANDSCAPE ARCHITECTS FINAL WRITTEN APPROVAL.
- EARTH BACKFILL SHALL BE FREE FROM RUBBISH, DEBRIS, SOIL, ROOTS, OR ARTIFICIAL MATERIAL.
- BACKFILL FOR PLANTING SHALL BE THREE PARTS TOPSOIL, ONE PART SAND AND ONE PART PEAT MOSS.
- CONTRACTOR IS RESPONSIBLE FOR WATERING UNTIL INSTALLATION IS COMPLETE.
- CONTRACTOR TO REPAIR ALL LAWN AREAS DAMAGED FROM CONSTRUCTION AND PLANTING OPERATIONS.



PLANTING DETAIL



EVERGREEN TREE PLANTING DETAIL



SHRUB PLANTING DETAIL

CLED52/BL



LED ceiling light with precision optics deliver smooth and uniform distribution. Ideal for retail settings, workspace lighting and other applications requiring a high output commercial grade downlight.

Color: Ivory Weight: 16.8 lbs

Driver Info		LED Info	
Type	Constant Current	Watts	52W
120V	0.53A	Color Temp	5000K (Cool)
208V	0.35A	Color Accuracy	73 CRI
240V	0.35A	L70 L70eq	100,000 Hours
277V	0.26A	Lumens	7,312
Input Watts 39.1W		Efficiency	138 lm/W



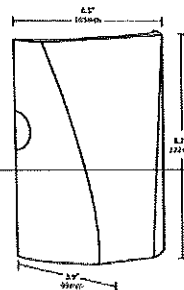
Date: 26 Nov 2019
Title: Enter the title here...
Desc: Enter the description here

For: Client's name or company...
By: Your name or company...

Luminaire

REB File Name: 14642260840 led
Description: CEILING, CASE FINISH: PAINTED FINISHED METAL, HOUSING: 1 CIRCULAR BOND WITH LED, ONE WHITE HELIX-CHIP LIGHT BUBBLES
Light Loss Factor: 1.00
Number of Lamps: 1
Lamp Lumens: -1.1mg
Luminaire Watts: 18 W

Dimensions



PARKING (UNDER BLDG.) AREA LIGHT FIXTURE DETAIL
TYPE 'A'
(MOUNTING HEIGHT - 8')

WALL MOUNT LIGHT FIXTURE DETAIL
TYPE 'B'
(MOUNTING HEIGHT - 10')

NO.	DESCRIPTION	DATE	BY
1	ISSUED TO THE CLIENTS	12-22-20	M.J.
2	REVISED BUILDING & SITE LAYOUT	5-1-20	M.J.

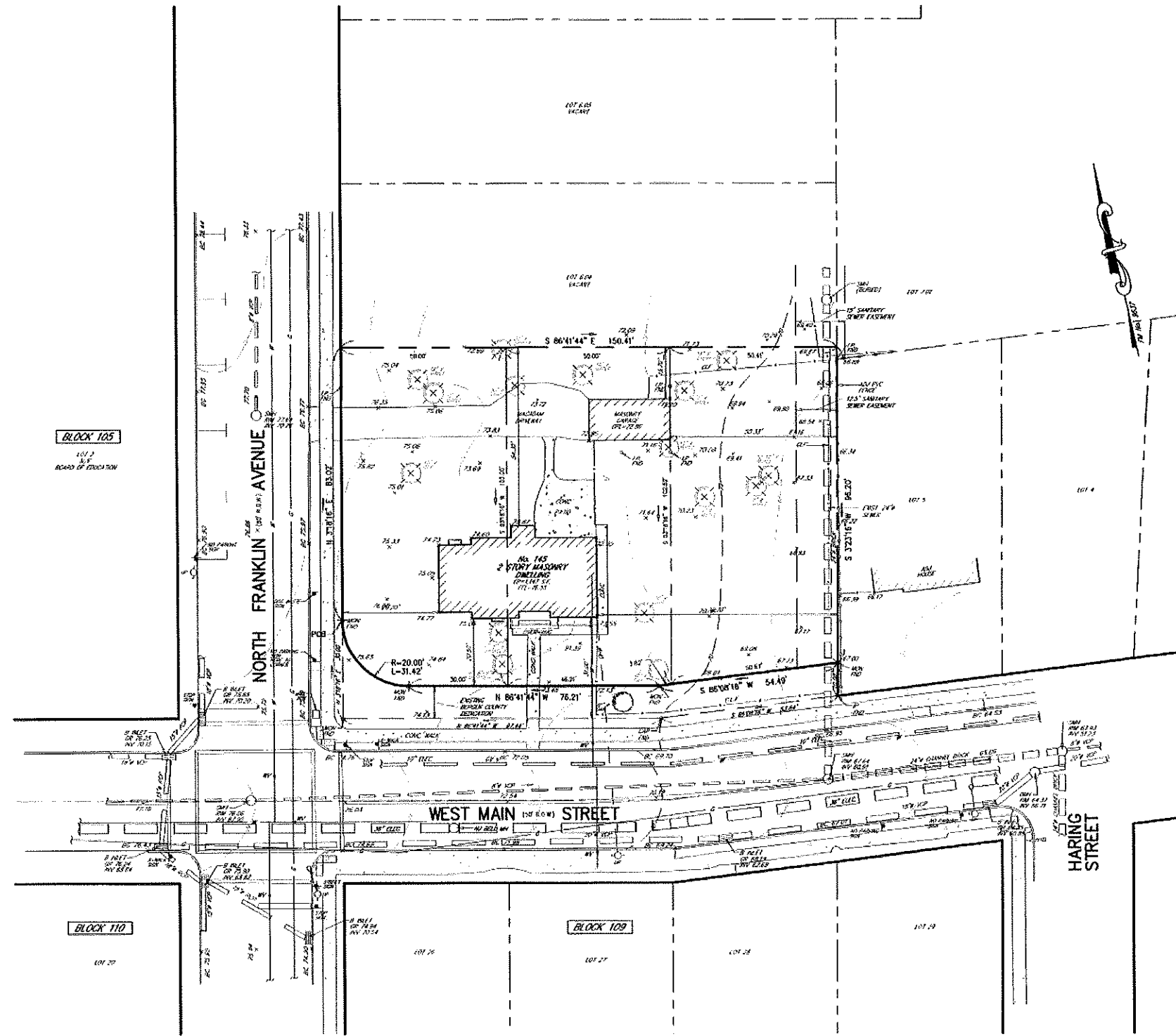
LIGHTING & LANDSCAPING PLAN

LOTS 6.01, 6.02 & 6.03
PROPOSED RESIDENTIAL BUILDING
No. 145 WEST MAIN STREET
BOROUGH OF BERGENFIELD, BERGEN COUNTY
APPLICANT: 145 WEST MAIN STREET, LLC
C/O MATTHEW CAPAZZI, ESQ.
11 HILLSIDE AVENUE, 2ND FL.
TENAFLY, NJ 07670

MICHAEL J. HUBSCHMAN P.E., P.P.
PROFESSIONAL ENGINEER AND PLANNER
N.J.P.E. NO. 29497 N.J.P.P. NO. 3260

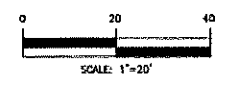
HUBSCHMAN ENGINEERING P.A.

DRAWN BY: B
CHKD BY: M/J
SCALE:
DRAWING NO.



GENERAL NOTES
 1) ELEVATIONS BASED ON NGVD 1929.
 2) TOTAL LOT AREA - 15,215 S.F. (0.349 Ac.)

REFERENCES
 1) A CERTAIN MAP ENTITLED "SOUTH PRESBYTERIAN CHURCH, MAJOR SUBDIVISION PLAN, BOROUGH OF BERGENFIELD, BERGEN COUNTY, NEW JERSEY" FILED IN THE BOCO AS MAP No. 9637.
 2) BOROUGH OF BERGENFIELD TAX MAP.



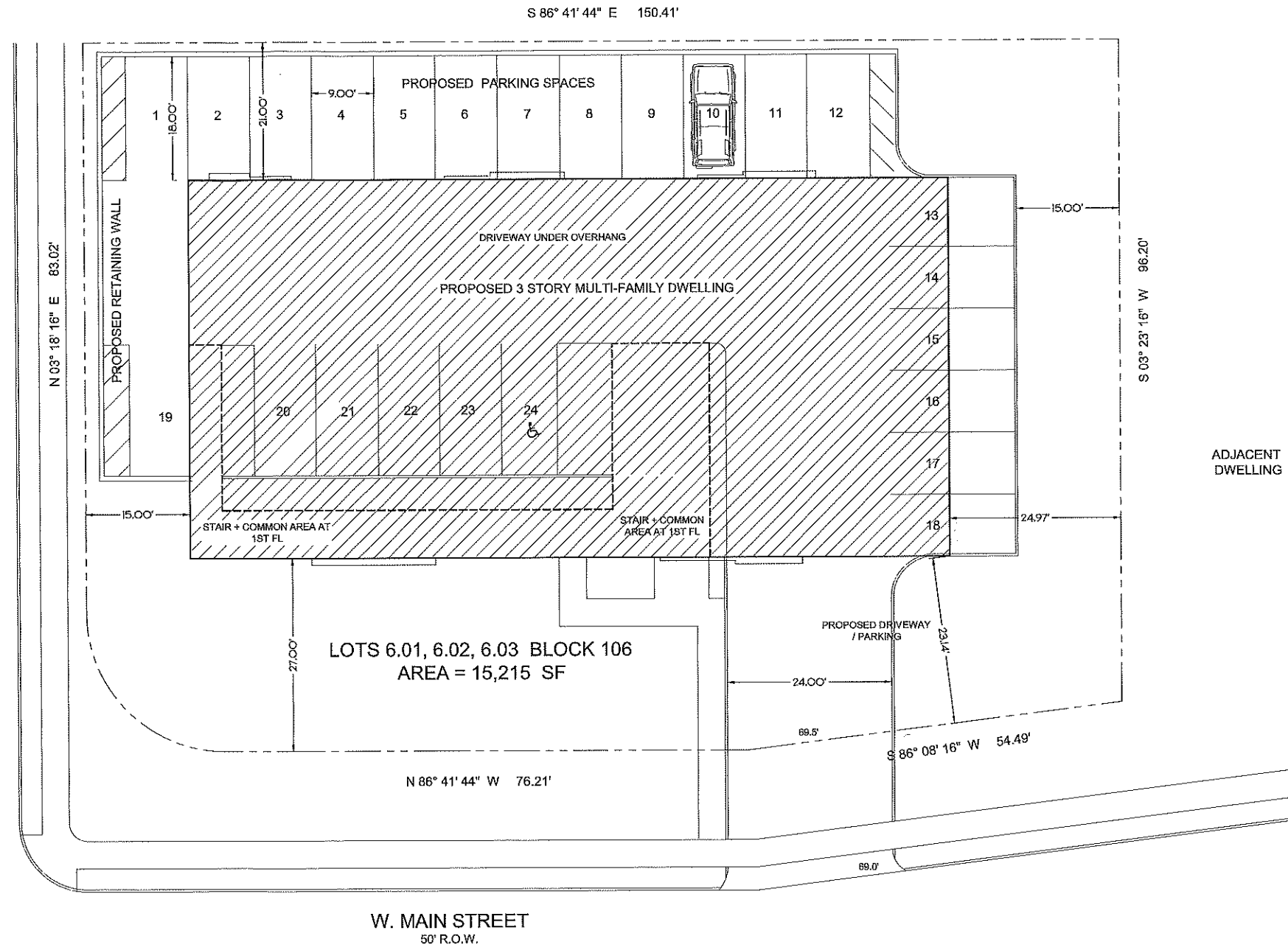
NO.	REVISIONS	DATE	BY

EXISTING CONDITIONS PLAN
 LOTS 601, 602 & 603
PROPOSED RESIDENTIAL BUILDING
No. 145 WEST MAIN STREET
 BOROUGH OF BERGENFIELD
 BERGEN COUNTY
 APPLICANT: 145 WEST MAIN STREET, LLC
 C/O MATTHEW CAPUZZI, ESQ.
 11 HILLSIDE AVENUE, 2ND FL.
 TENASKY, NJ 07070

ROBERT J. MUELLER
 PROFESSIONAL LAND SURVEYOR
 N.J. LIC. NO. 57206

MICHAEL J. HUBSCHMAN P.E., P.P.
 PROFESSIONAL ENGINEER AND PLANNER
 N.J.P.E. NO. 28497 N.J.P.P. NO. 3700

HUBSCHMAN ENGINEERING, P.A.
 DRAWN BY: MJI
 CHECK BY: MJI
 SCALE: 1"=20'
 DRAWING NO. 782



Ⓢ SITE PLAN
 1" = 10'-0"

BUILDING DATA:

PARKING LEVEL:	0 - 1 BEDROOM UNITS	0 - 2 BEDROOM UNITS
1ST FLOOR:	6 - 1 BEDROOM UNITS	1 - 2 BEDROOM UNITS
2ND FLOOR:	6 - 1 BEDROOM UNITS	1 - 2 BEDROOM UNITS

PARKING DATA:

1 BEDROOM UNIT:	12 X 18 = 216 SPACES
2 BEDROOM UNIT:	2 X 20 = 4 SPACES
TOTAL	26 SPACES REQUIRED, 24 SPACES PROVIDED

ELECTRICAL LEGEND

⊙	• SURFACE MOUNT LIGHT FIXTURE	⚡	• SINGLE POST ELECTRICAL SWITCH
⊕	• 6" DIA. (L.O.N) RECESSED FIXTURE	⚡	• THREE WAY SWITCH
⚡	• WALL MOUNTED LIGHT FIXTURE	Ⓜ	• DUPLEX RECEPTACLE OUTLET
Ⓜ	• NEW OR EXIST SMOKE ALARM • INTERCONNECTED + HARD-WIRED W/ BATTERY BACKUP	Ⓜ	• GROUND FAULT INTERRUPT RECEPTACLE OUTLET
Ⓜ	• NEW OR EXIST CARBON MONOXIDE • DETECTOR, INTERCONNECTED + HARD-WIRED W/ BATTERY BACKUP	Ⓜ	• WATER PROOF RECEPTACLE OUTLET
Ⓜ	• SURFACE MOUNT FAN / LIGHT FIXTURE	Ⓜ	• NEW OR EXIST EXHAUST FAN, 80 CFM + 3 FIXTURES, 110CFM + 4 FIXTURES
		Ⓜ	• NEW CABLE TV OUTLET FOR CABLE TV, INTERNET
		Ⓜ	• NEW TELEPHONE OUTLET - VERIFY TYPE + LOCATION WITH OWNER

LEGEND

	EXISTING 2 X 4 WOOD CONSTRUCTION TO REMAIN
	EXISTING 2 X 4 WOOD CONSTRUCTION TO BE REMOVED
	NEW 2 X 4 OR 2 X 6 WOOD CONSTRUCTION, 16" OC (L.O.N)
	EXISTING CONCRETE CONSTRUCTION TO REMAIN
	EXISTING CONCRETE CONSTRUCTION TO BE REMOVED
	NEW POURED OR MASONRY CONC CONSTRUCTION
	FLOOR ABOVE OR BELOW
	NEW JOISTS, RAFTERS, ETC.
	NEW GIRDERS, RIDGEBEAMS, ETC.

INFORMATION ON THIS SITE PLAN HAS BEEN TAKEN FROM A PROPERTY SURVEY FURNISHED TO THE ARCHITECT BY THE PROPERTY OWNER: HUBSCHMAN ENGINEERING, ENGINEERS, LAND SURVEYORS, + PLANNERS, BERGENFIELD, NJ - ROBERT J. MUELLER P.L.L.C., LIC NO 37206 - DATED 1-8-20 + REV 12-22-20

1	12-22-20	Reduced to 14 U
#	Date	Revision

New Construction for:

Multi Family Bui
 Block: 106 Lot: 6.01, 6.02,
 145 Main Street
 Bergenfield, New Jersey

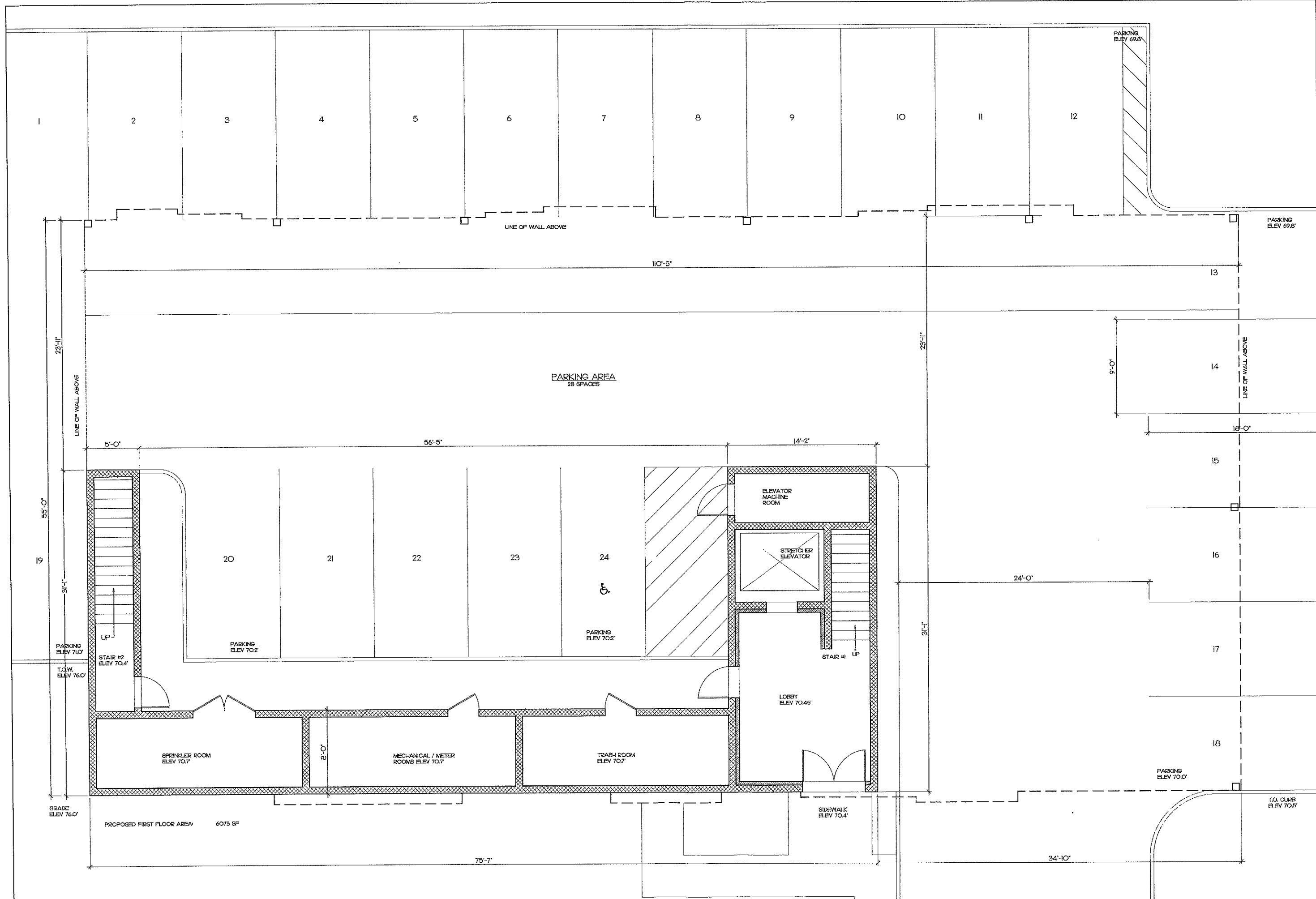
SITE PLAN, LEGEND + ZON

Scale: AS NOTED

Date: MAY 4, 2020

Submission: ZONING APPL

Indemnification Clause:
 The owner shall release, hold harmless, an
 Architect with respect to: any changes in
 construction documents by anyone other t
 or changes in any aspect of the work, or f
 Contractor to build in accordance with the
 documents.



#	Date	Revision
1	12-22-20	Reduced to 1/4" = 1'-0"

New Construction for:

Multi Family B

Block: 106 Lot: 6.01, C
 145 Main Street
 Bergenfield, New Jersey

BASEMENT FLOOR PLAN

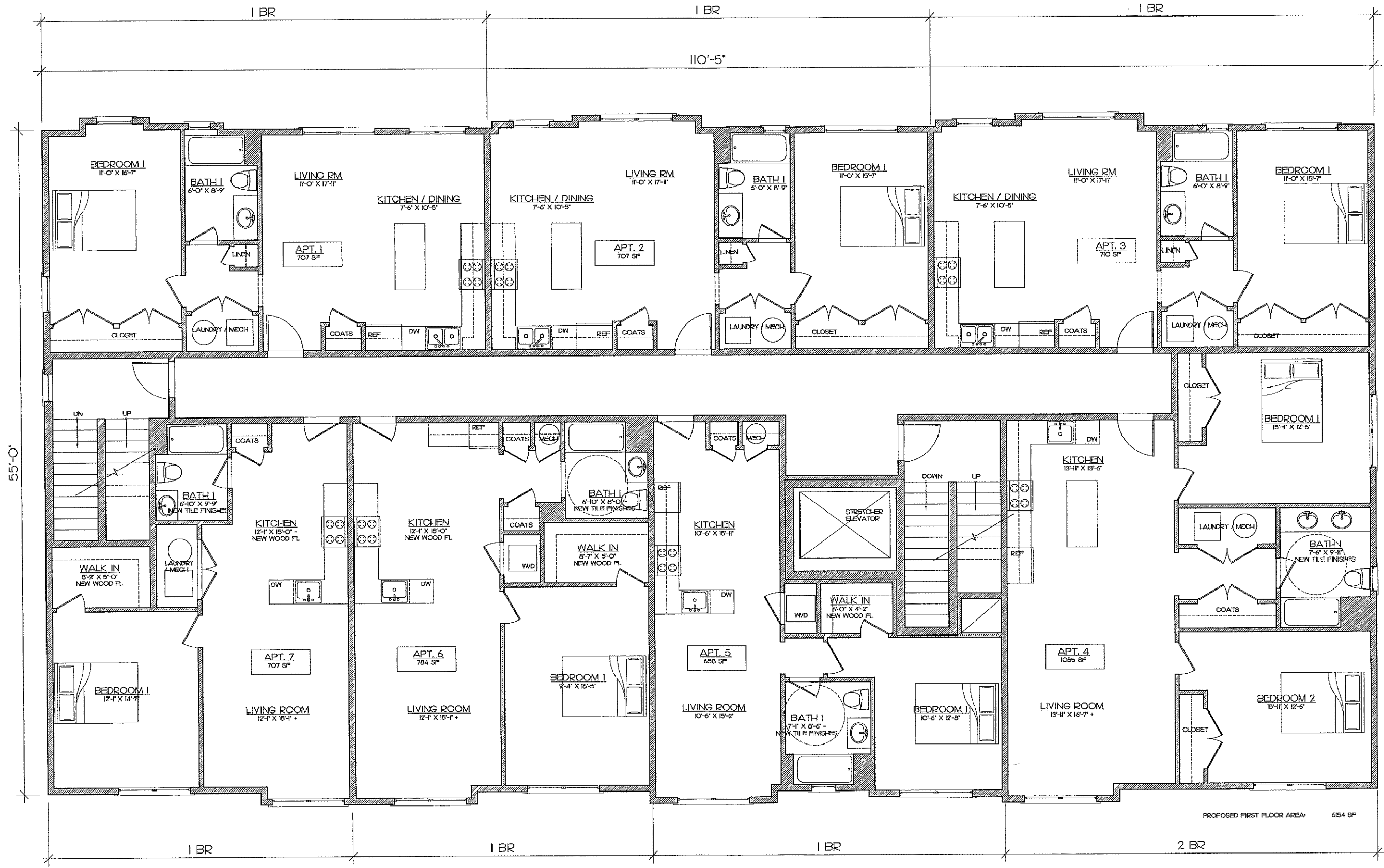
Scale: 1/4" = 1'-0"

Date: MAY 4, 2020

Submission: ZONING AP

Indemnification Clause:
 The owner shall release, hold harmless, defend and indemnify the Architect with respect to any change orders or changes to any aspect of the work. The Contractor shall be held in accordance with the documents.

B PROPOSED BASEMENT / PARKING LEVEL PLAN
 1/4" = 1'-0"



1 PROPOSED FIRST FLOOR PLAN
 1/4" = 1'-0"

1 | 12-22-20 | Reduced to 1/4" = 1'-0"
 # | Date | Revision

New Construction for:

Multi Family B

Block: 106 Lot: 6.01, 6.02
 145 Main Street
 Bergenfield, New Jersey

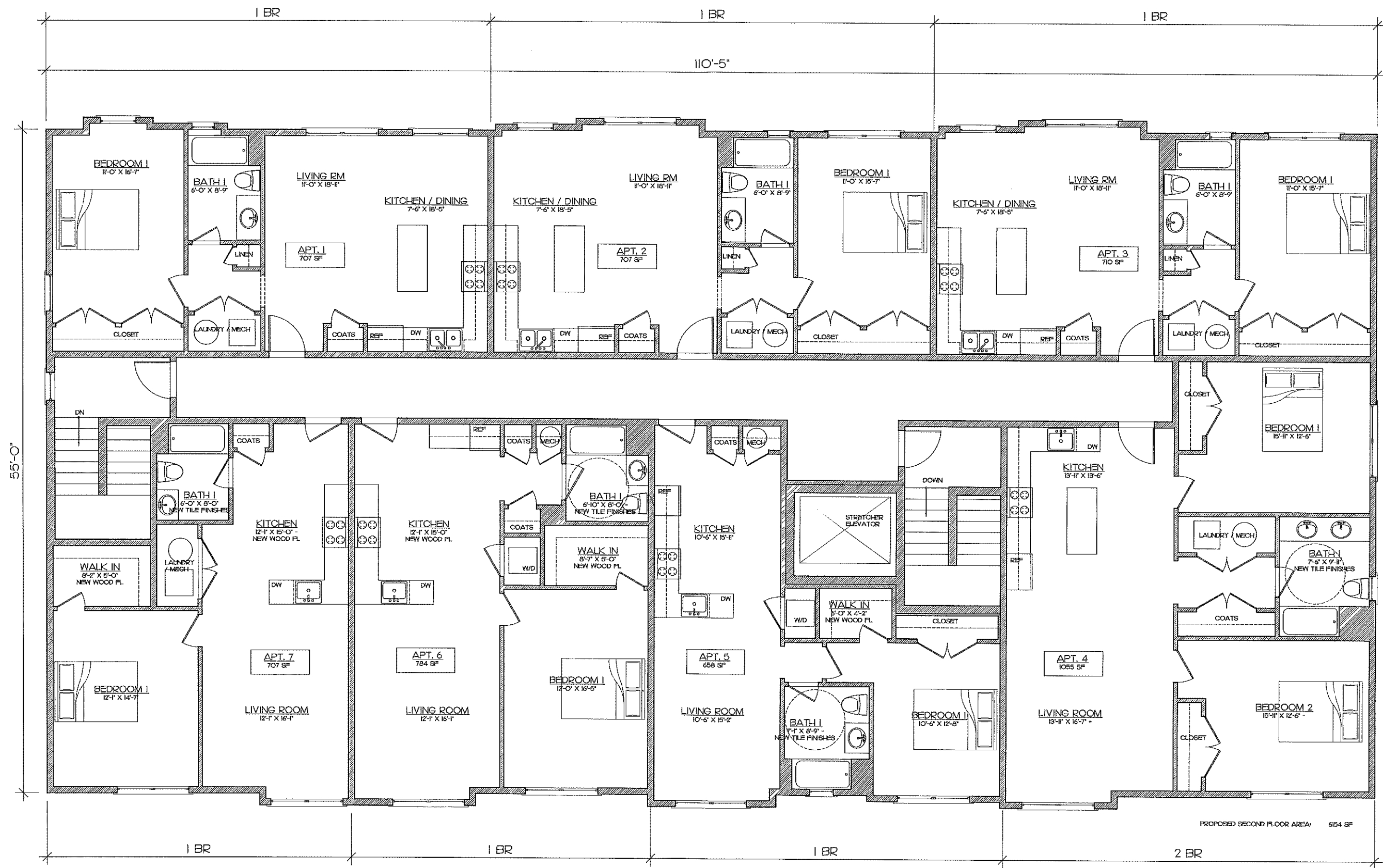
FIRST FLOOR PLAN

Scale: 1/4" = 1'-0"

Date: MAY 4, 2020

Submission: ZONING APPLIC

Indemnification Clause:
 The owner shall release, hold harmless, defend, and indemnify the Architect with respect to any change orders or changes in any aspect of the work or changes in any aspect of the work. Contractor to build in accordance with documents.



2 PROPOSED SECOND FLOOR PLAN
 1/4" = 1'-0"

1	12-22-20	Reduced to 14"
#	Date	Revision

New Construction for:

Multi Family B
 Block: 106 Lot: 6.01, 6
 145 Main Street
 Bergenfield, New Jersey

SECOND FLOOR PLAN

Scale: 1/4" = 1'-0"

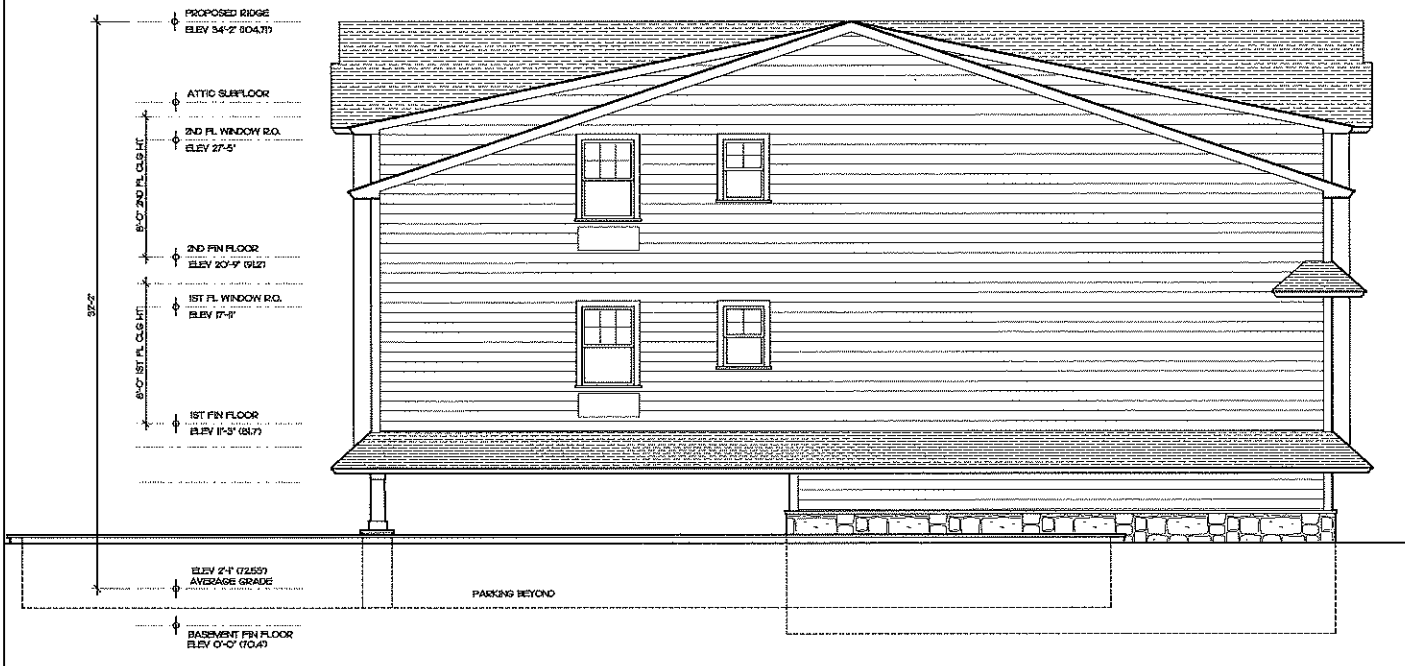
Date: MAY 4, 2020

Submission: ZONING AP

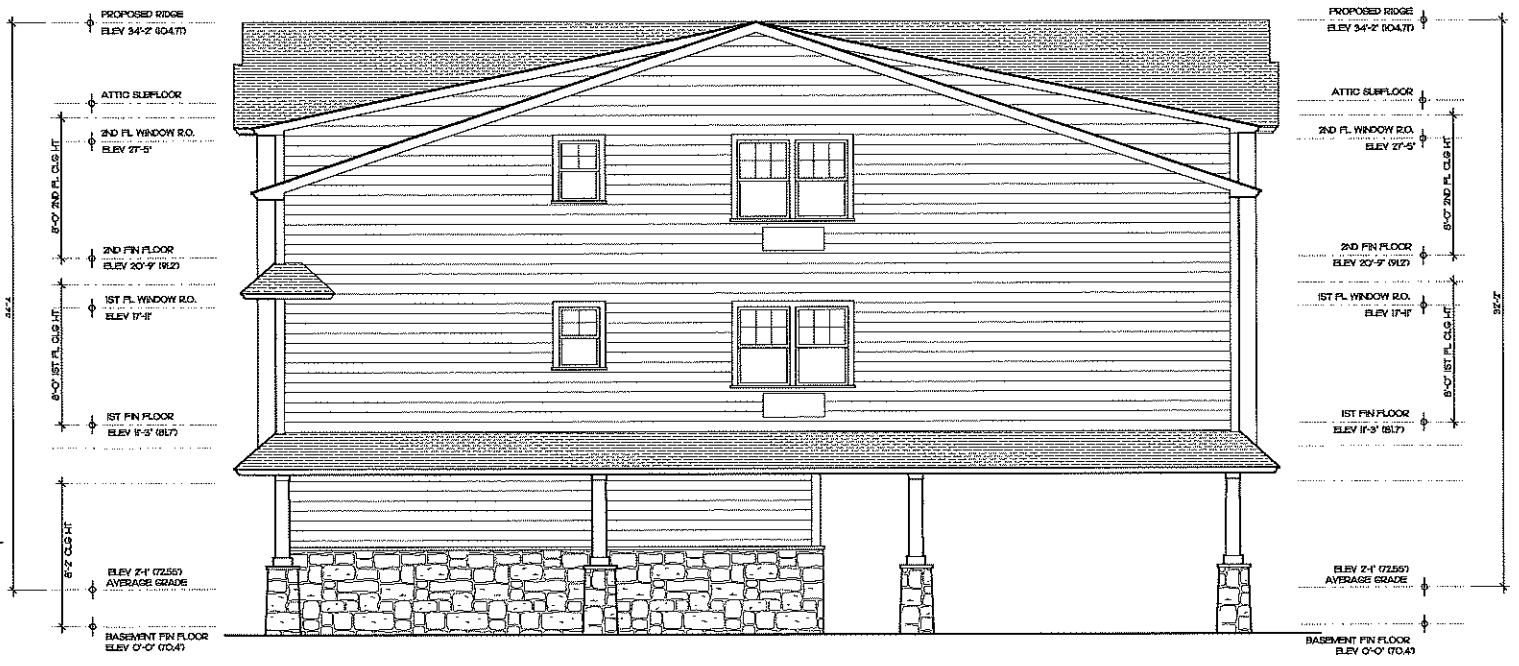
Indemnification Clause:
 The owner shall release, hold harmless, defend and indemnify the Architect with respect to, any changes or construction documents by anyone other than the Architect or changes in any aspect of the work, Contractor to build in accordance with documents.



3 PROPOSED FRONT MAIN STREET ELEVATION
 3/16" = 1'-0"



4 PROPOSED LEFT SIDE ELEVATION
 3/16" = 1'-0"



6 PROPOSED RIGHT SIDE ELEVATION
 3/16" = 1'-0"

#	Date	Revision
1	12-22-20	Reduced to 14"

New Construction for:

Multi Family Bu
 Block: 106 Lot: 6.01, 6
 145 Main Street
 Bergenfield, New Jersey

ELEVATIONS

Scale: 3/16" = 1'-0"

Date: MAY 4, 2020

Submission: ZONING AP

Indemnification Clause:
 The owner shall release, hold harmless, defend and indemnify the Architect with respect to any claims, damages, losses, or expenses, including reasonable attorneys' fees, incurred by the Architect or its subcontractors in connection with the performance of its professional services under the terms of the contract documents, or any changes or amendments to the contract documents, or any changes or amendments to the contract documents, or any changes or amendments to the contract documents, or any changes or amendments to the contract documents.



3 PROPOSED FRONT MAIN STREET ELEVATION
 3/16" = 1'-0"



3 ALTERNATE FRONT MAIN STREET ELEVATION - FLAT ROOF
 3/16" = 1'-0"

1 | 12-22-20 | Reduced to 14
 # | Date | Revision

New Construction for:

Multi Family Bu
 Block: 106 Lot: 6.01, 6.
 145 Main Street
 Bergenfield, New Jersey

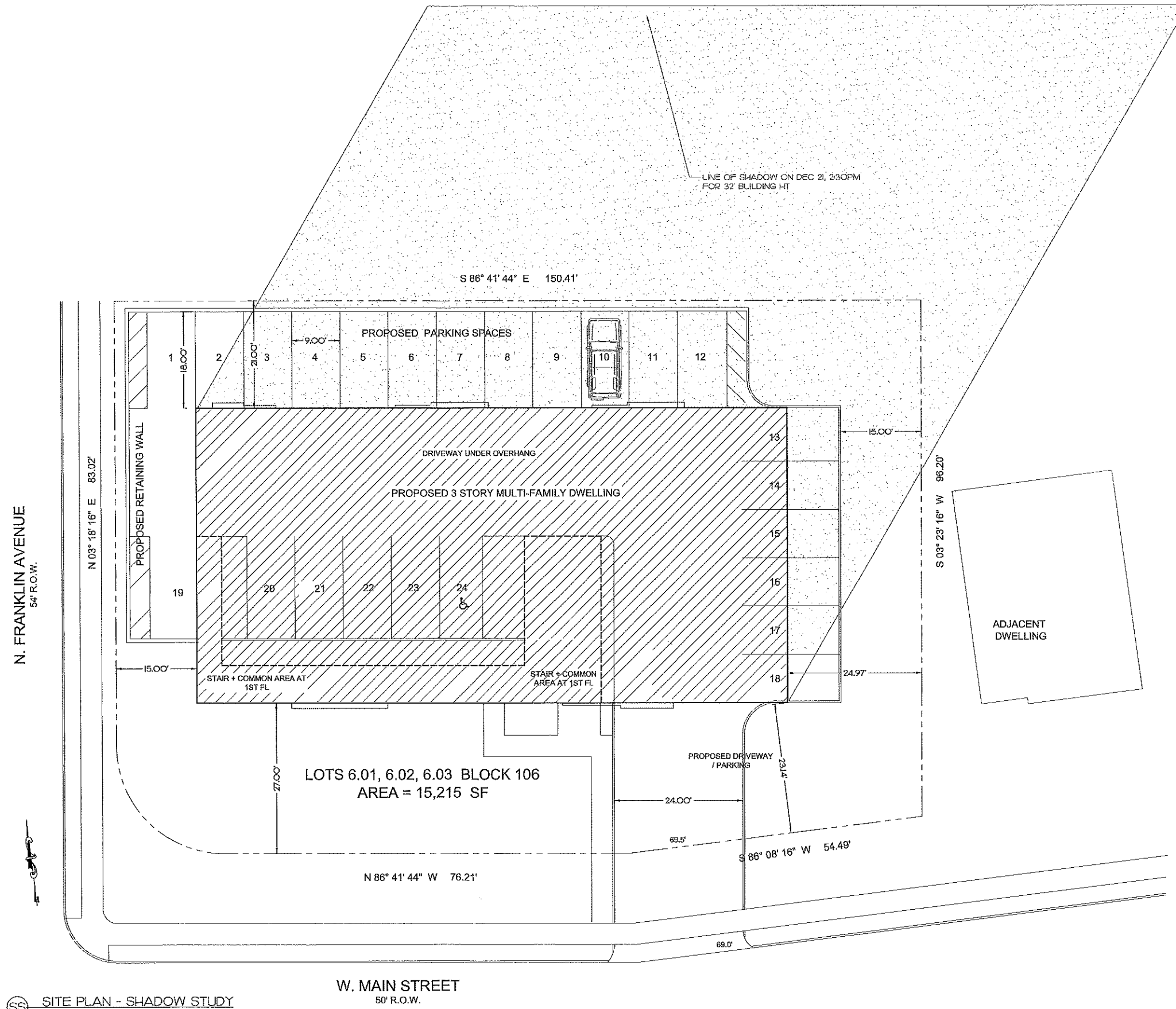
ALTERNATE ELEVATION

Scale: 3/16" = 1'-0"

Date: MAY 4, 2020

Submission: ZONING AP

Indemnification Clause:
 The owner shall release, hold harmless
 Architect with respect to: any changes
 construction documents by anyone oth
 or changes in any aspect of the work,
 Contractor to build in accordance with
 documents.



SS SITE PLAN - SHADOW STUDY
 1" = 10'-0"

1	12-22-20	Reduced to 14 U
#	Date	Revision

New Construction for:

Multi Family Bui
 Block: 106 Lot: 6.01, 6.02
 145 Main Street
 Bergenfield, New Jersey

SITE PLAN W/ SHADOW ST

Scale: 1" = 10'-0"

Date: MAY 4, 2020

Submission: ZONING APPL

Indemnification Clause:
 The owner shall release, hold harmless, and defend the Architect with respect to any claims, damages, or losses, including reasonable attorneys' fees, arising out of or from the performance of the Architect's services under this contract, or from the construction documents by anyone other than the Architect, or from any changes in any aspect of the work, or from the Contractor to build in accordance with the documents.

December 30, 2020

Bergenfield Zoning Board of Adjustment
Bergenfield Municipal Building
198 N. Washington Avenue
Bergenfield, NJ 07621

**Reference: Supplemental Traffic & Parking Assessment
Multi-Family Residential Development
145 W Main Street
Bergenfield, NJ
Block 106, Lots 6.01, 6.02, 6.03**

Dear Members of the Board:

Based on the previous hearings and the revised proposed site plan, we offer the following additional information/analysis:

1. Proposed Vehicle Trips generated
2. Adequacy of onsite parking
3. Use of private trash carter
4. Findings based upon receipt of accident data
5. Revised driveway location

1. Proposed Vehicle Trip Generation – The proposed Site Plan consists of 14 residential units (12 One-Bedroom and 2 Two-Bedroom units). The proposed Multi-Family Residential development would likely include up to 7, 10, and 10 vehicles per hour (vph) during the AM, PM, and Saturday Peak Hours, respectively. The table below depicts the previous 16 proposed units, the current 12 proposed units, and 3 single family homes for reference. Although there would be an increase in traffic volumes during the Peak Hours, the net increase and the overall traffic generated would be very minor

	AM Peak Hour Trips	PM Peak Hour Trips	SAT Peak Hour Trips
16 Units	8	12	11
14 Units	7	10	10
3- SF Homes	7	4	21

2. Adequacy of On-Site Parking – On-site parking provides for 24 parking spaces (including 1 ADA accessible space). The PSIS requires 26 parking spaces (18 space for a 1-



**Re: Supplemental Traffic & Parking Assessment
Multi-Family Residential Development
145 W Main Street**

bedroom unit and 2.0 spaces for a 2-bedroom unit). Therefore, a 2-parking space variance is required.

Based on the small square footage of the proposed residential units, and the current Bergenfield vehicle ownership, the proposed 24 parking spaces proposed would be sufficient for the proposed Multi-Family Residential development site.

RSIS requires 1.8 spaces per unit, for a 1-bedroom unit, which is excessive for this site based on the US Census Vehicle ownership data for this tract of Bergenfield (8% do not own a vehicle), and 15% utilize public transportation or other means to get to work.

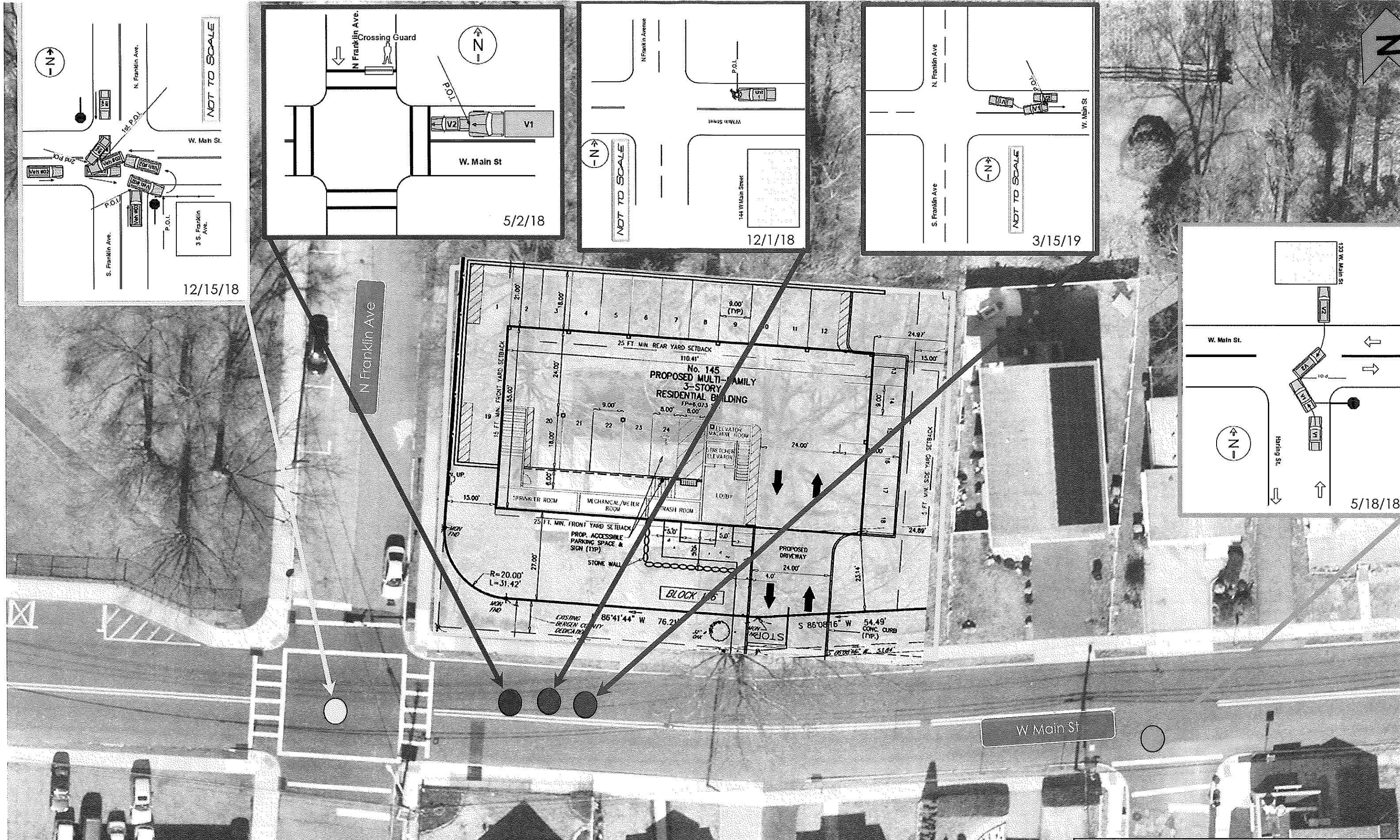
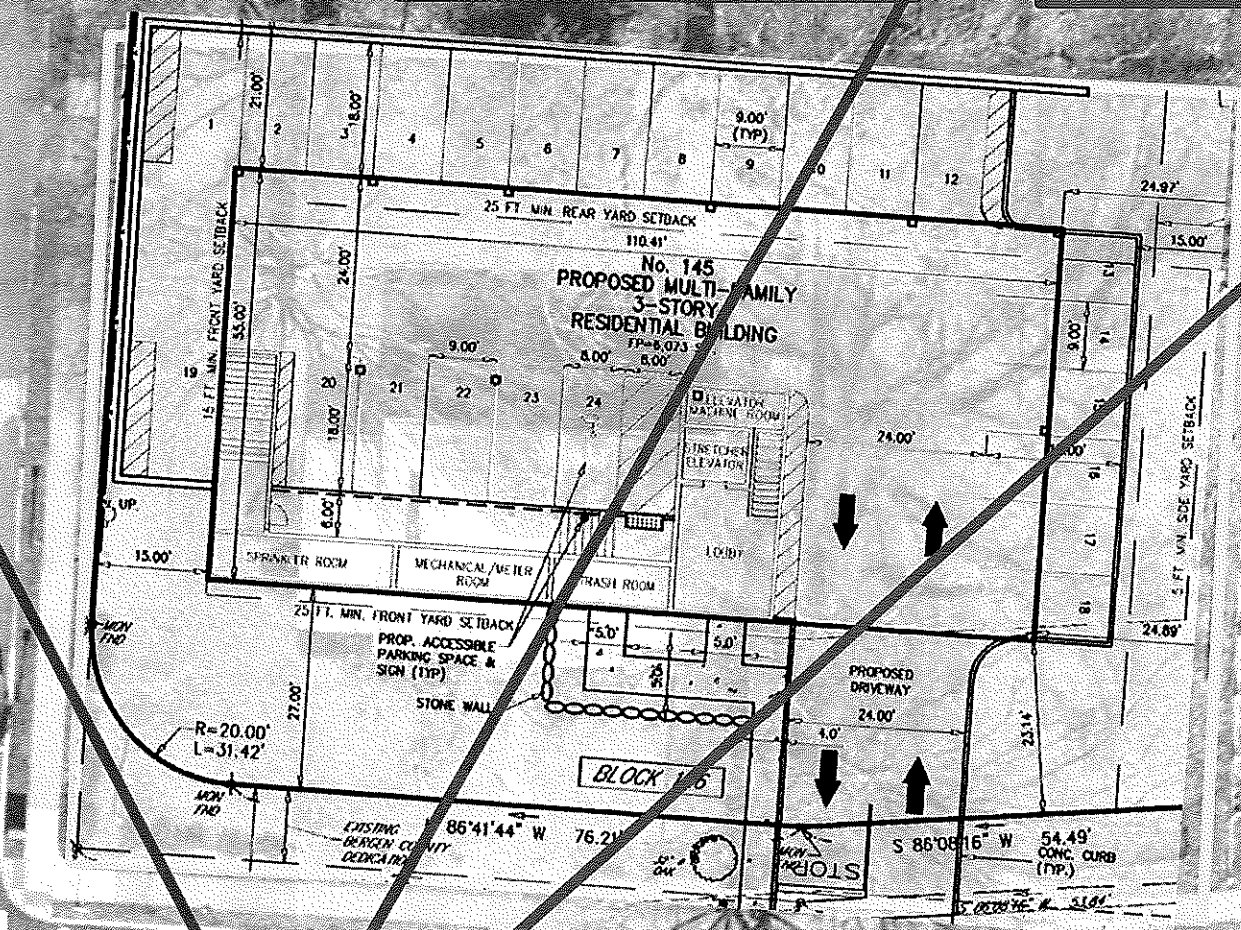
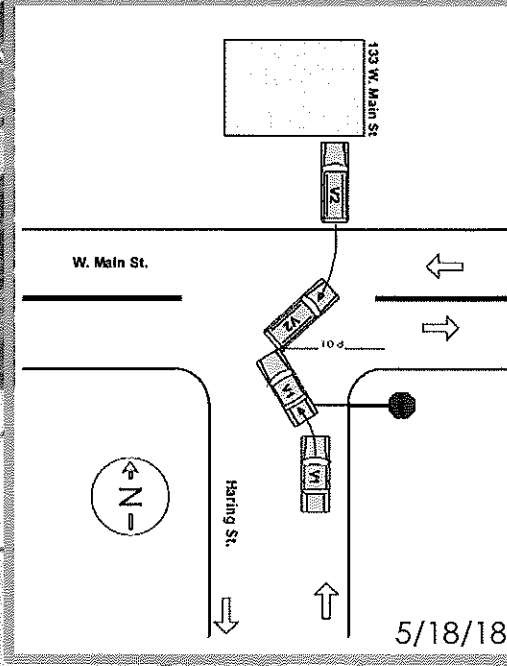
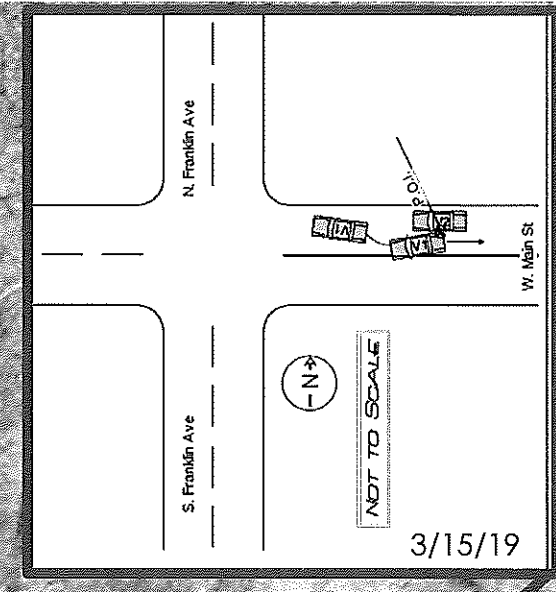
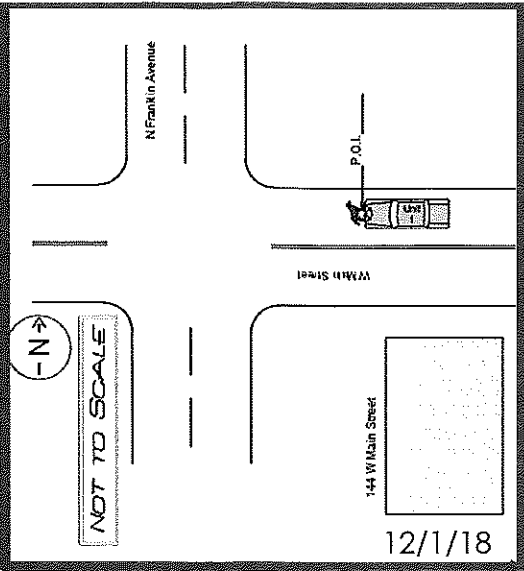
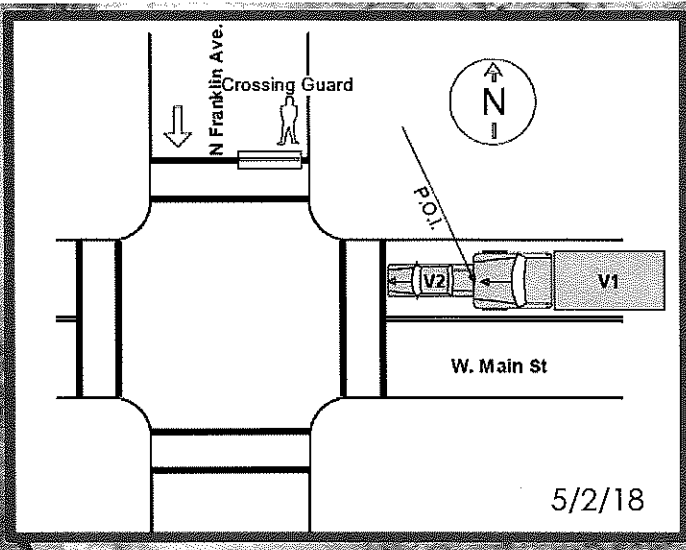
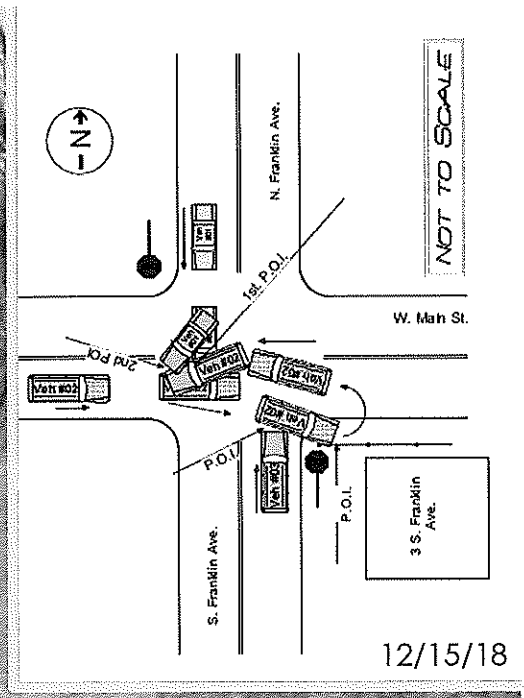
The 12 proposed 1-Bedroom units would be assigned 1 parking each (12 spaces) and 2 proposed 2-bedroom units would be assigned 2 parking spaces each (4 spaces) for a total of 16 parking spaces. Therefore, 8 spaces would be available for guest and resident parking on-site and existing on-street parking along N Franklin Avenue (which is designated for School Drop-Off) – however, these 15 parking spaces would be available after school hours and on the weekends, but not overnight.

3. **Use of private trash carter** – The proposed site would utilize and schedule a private trash pick-up to eliminate having trash containers along the frontage of the site/Main Street and also not interfering with the driver sight distance exiting the proposed driveway.
4. **Findings based upon receipt of accident data** - We requested copies of all crash reports along the segment of W. Main Street, between N. Franklin Avenue and Haring Street for the past three years (2019, 2018, and 2017). **FIGURE 1** shows a summary of crash data received. There was a total of six crash reports ranging from intersection to animal interactions. These crash reports do not have any correlation to the proposed driveway along W Main Street.
5. **Revised driveway location** – The revised proposed driveway location along W Main Street would be safe and efficient. The proposed driveway could provide pedestrian signal heads across the proposed driveway / sidewalk to increase pedestrian safety and awareness. In addition, there also could be prohibitions on left turns in and out of the proposed driveway. The proposed driveway should not be in conflict with existing driveways across W Main Street as the roadway provides for sufficient width.

Sincerely,

A handwritten signature in black ink, appearing to read "Louis J. Luglio", written over a horizontal line.

Louis J. Luglio, P.E.
lluglio@samschwartz.com



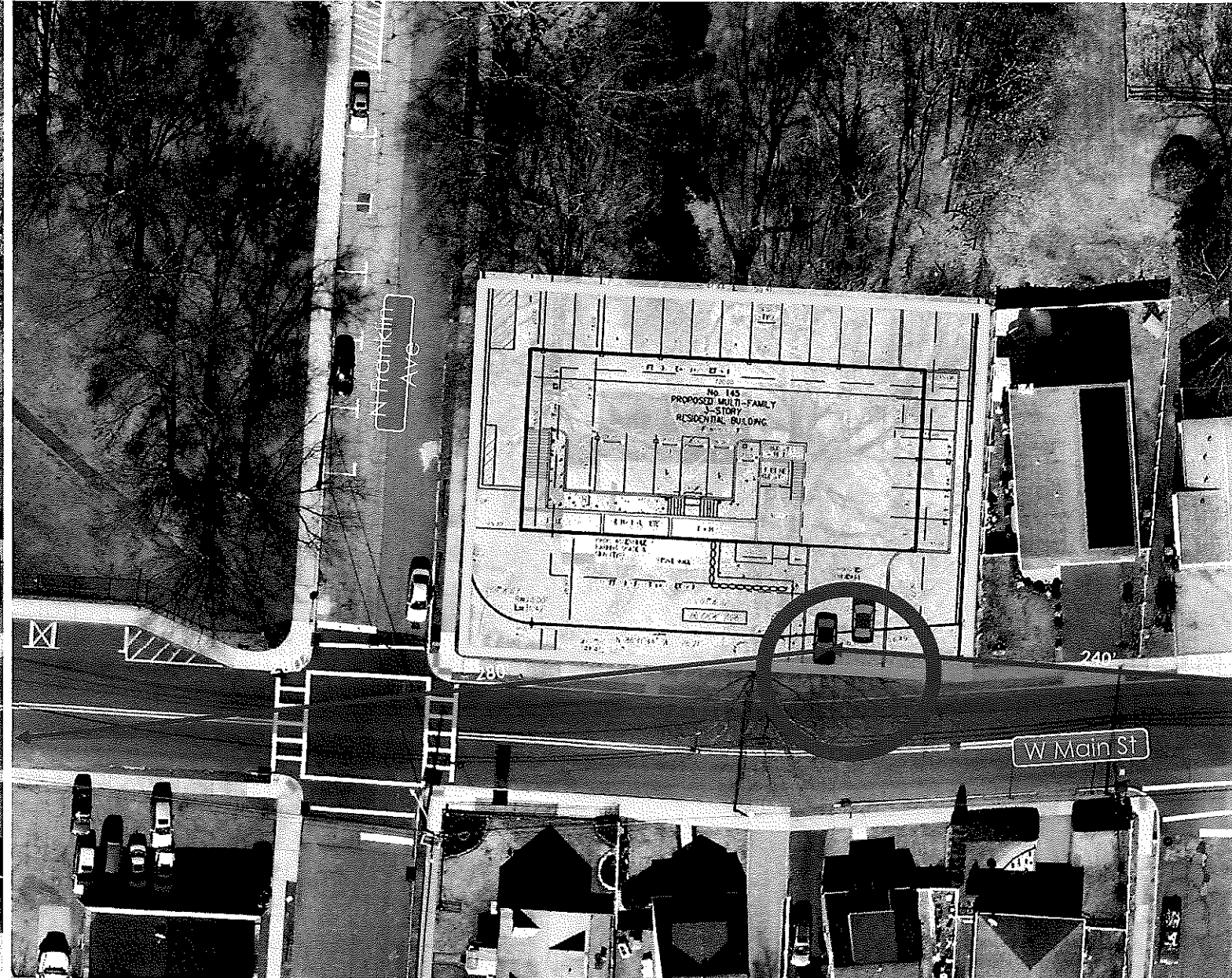
**FIGURE 1 – Crash Data
145 West Main Street**

12/16/20 Not to Scale
Aerial Image 2/24/20 NearMap
Louis Luglio, P.E.



3 Single Family Homes

Proposed 14 unit Residential

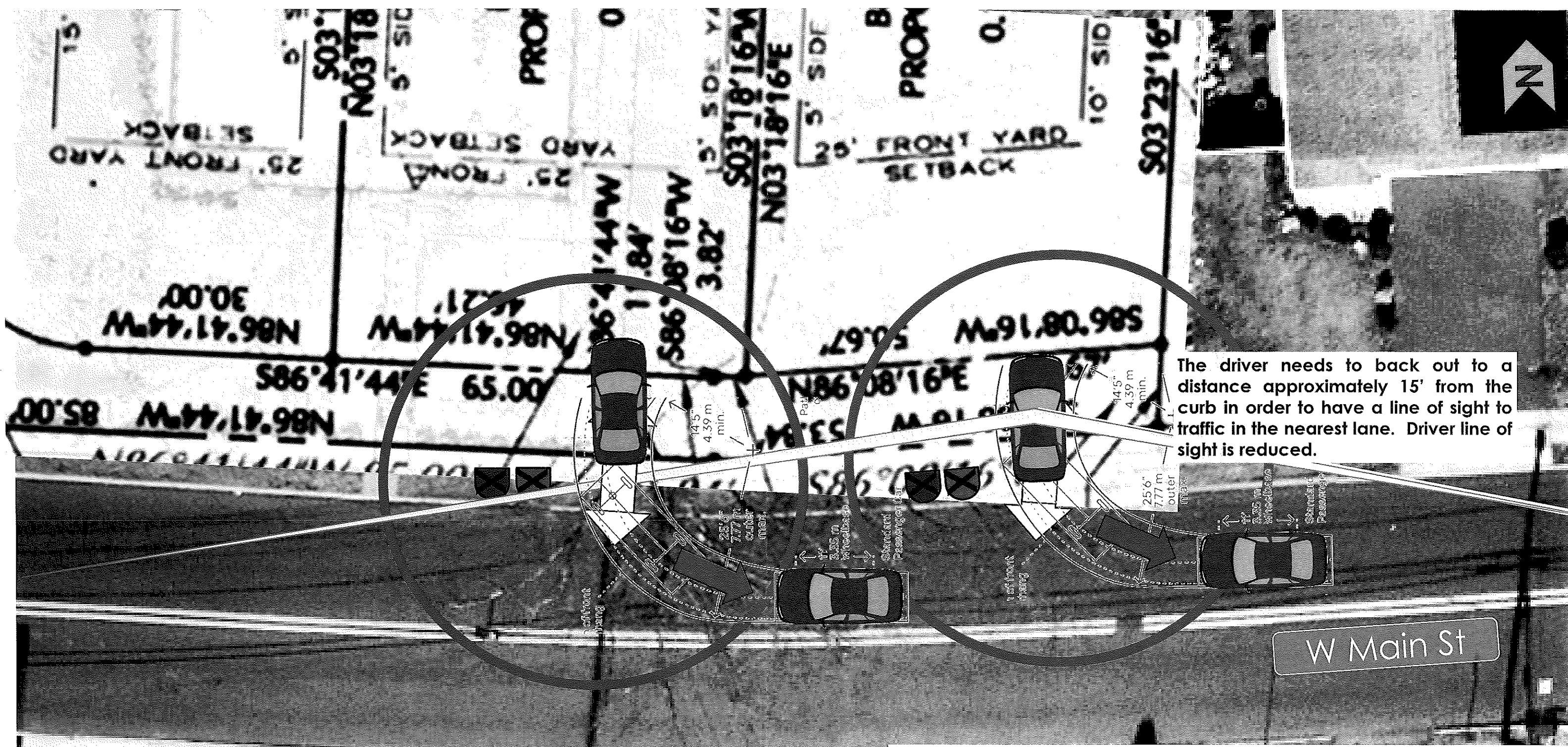


Vehicle Trip Generation

	AM Peak Hour Trips	PM Peak Hour Trips	SAT Peak Hour Trips
16 Units	8	12	11
14 Units	7	10	10
3 SF Homes	7	4	21

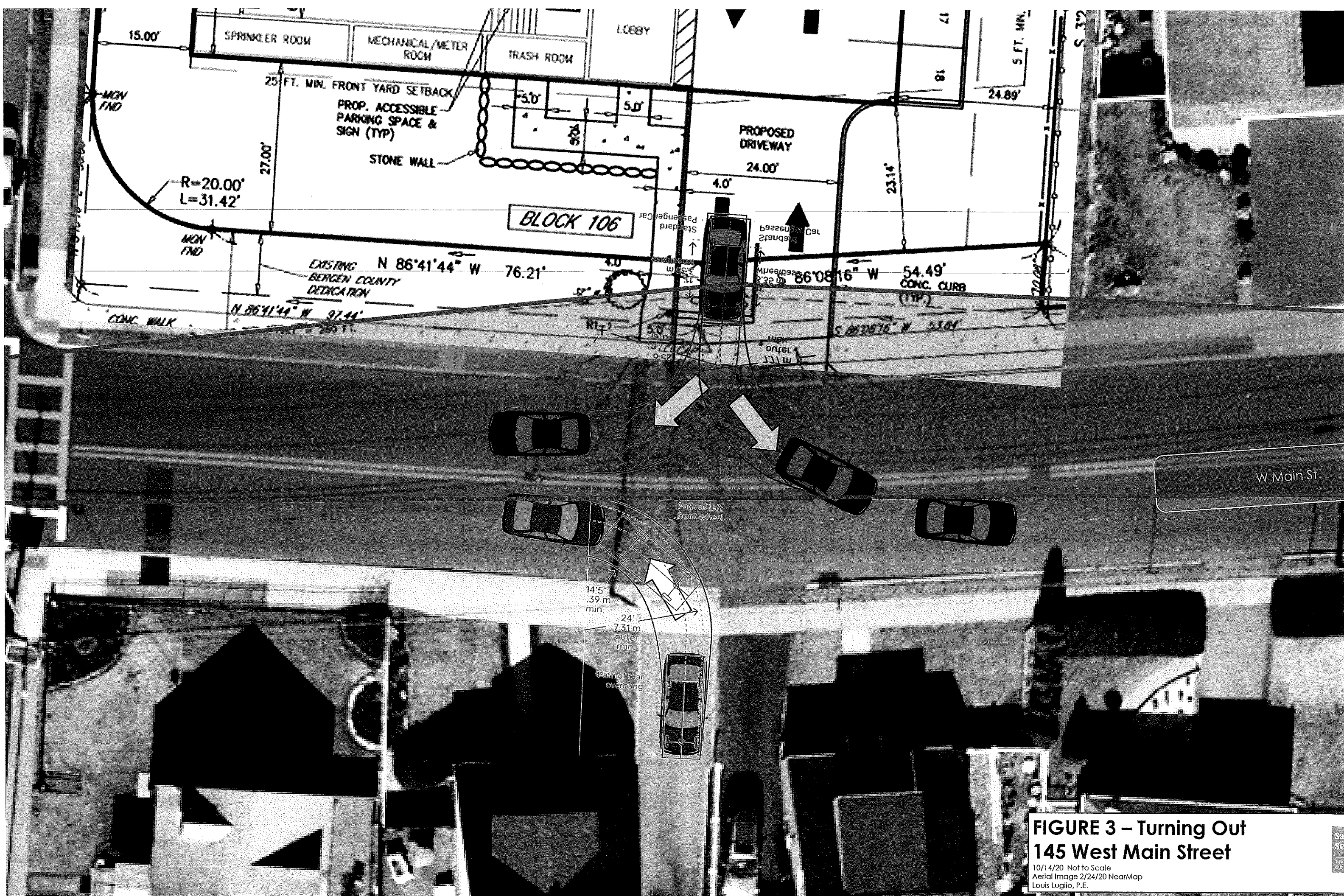
**FIGURE 1 Driveway Locations
145 West Main Street**

10/14/20 Not to Scale
Aerial Image 2/24/20 NearMap
Louis Luglio, P.E.



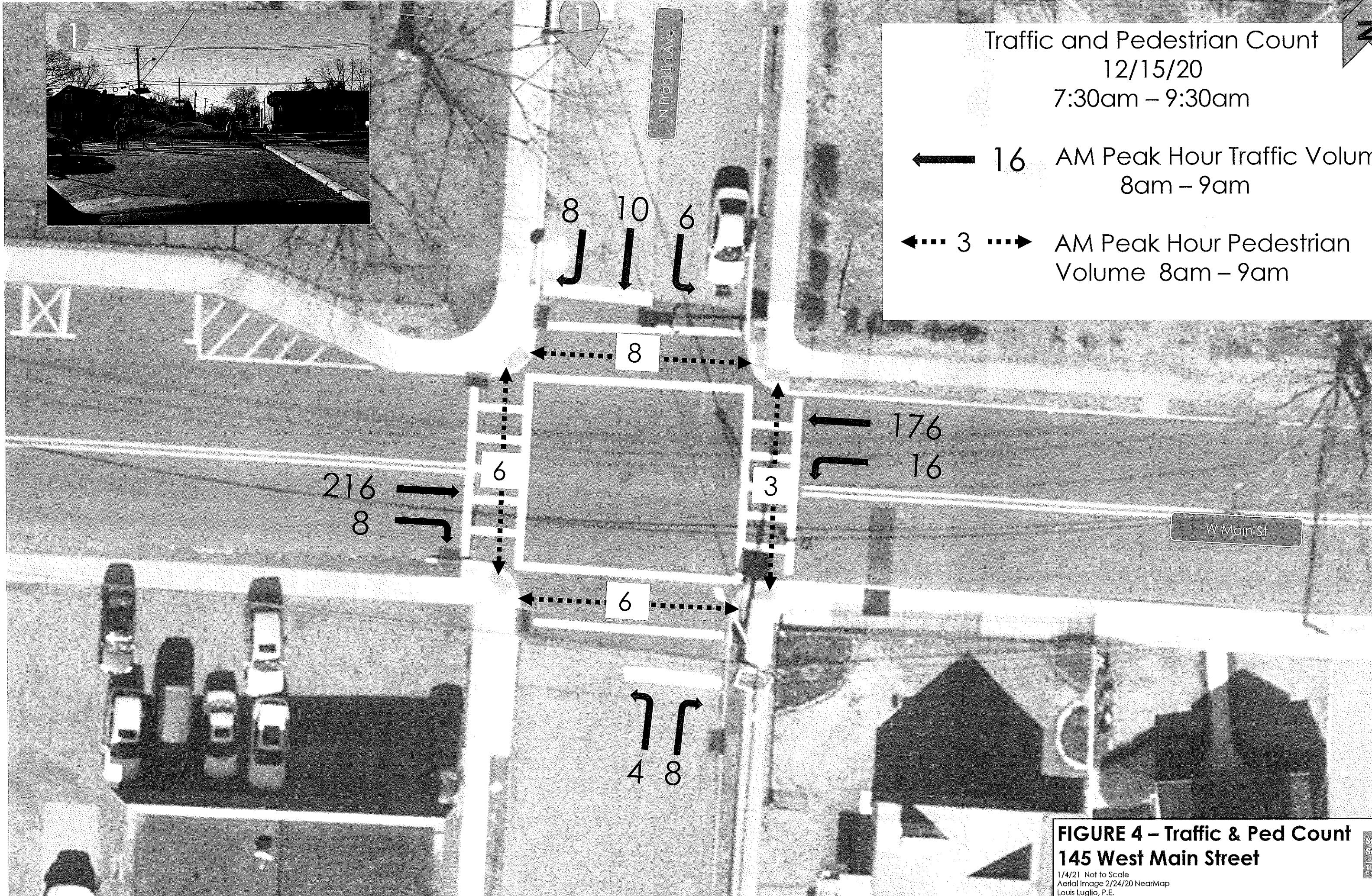
Back-Out Maneuverers Limits the Visibility of the Driver and Cause Additional Conflict with Pedestrian

FIGURE 2 Back-Out Conflicts
145 West Main Street
 10/14/20 Not to Scale
 Aerial Image 2/24/20 NearMap
 Louis Luglio, P.E.



**FIGURE 3 – Turning Out
145 West Main Street**

10/14/20 Not to Scale
Aerial Image 2/24/20 NearMap
Louis Luglio, P.E.



Traffic and Pedestrian Count
12/15/20

7:30am – 9:30am

← 16 AM Peak Hour Traffic Volume
8am – 9am

←... 3 ...→ AM Peak Hour Pedestrian
Volume 8am – 9am

216
8

6

8

8

10

6

176

16

3

6

4

8

W Main St

N Franklin Ave

**FIGURE 4 – Traffic & Ped Count
145 West Main Street**

1/4/21 Not to Scale
Aerial Image 2/24/20 NearMap
Louis Luglio, P.E.

FILE NO. _____ DATE _____
DATE OF HEARING 2/1/2021 DISPOSITION _____

BOARD OF ADJUSTMENT
MUNICIPAL BUILDING, BERGENFIELD, N.J.

APPLICATION FOR VARIATION/APPEAL
OF REQUIREMENTS OF ZONING ORDINANCE 1123

APPLICANT'S NAME Adrian + Debra Maldonado
ADDRESS 304 Merritt Avenue, Bergenfield
OWNER'S NAME Adrian + Debra Maldonado
OWNER'S ADDRESS 304 Merritt Avenue PHONE # 917-846-7931
FED I.D.# or S S 088688966

Applicant will be represented at public hearing by homeowners

TO THE BOARD OF ADJUSTMENT:
Application is hereby made for a variation/appeal from the requirements of Section(s) _____ and/or from the requirements of the Scheduled Limiting Bulk of Buildings of the Zoning Ordinance in accordance with plans and specifications attached hereto and/or decision of Zoning Officer. The location of this property is at NUMBER: _____

DESIGNATED AS Block(s) 44 and Lot(s) 4
on the Assessment Map of the Borough of Bergenfield.

ZONING DISTRICT (R-6) residential one-family

VARIANCES REQUIRED: LOT AREA _____ LOT FRONTAGE _____
LOT COVERAGE _____ FRONT YARD _____ REAR YARD / SIDE YARD _____

TOTAL SIDE YARD _____ OTHER (specify) _____

THE REASON FOR DESIRED VARIANCE/APPEAL
inground swimming pool

DESCRIPTION OF PROPERTY

1. SIZE OF LOT 60 x 102 2. SQUARE FEET IN LOT 6,127

3. SIZE OF PRESENT BUILDINGS _____ x _____ 4. STORIES 2

5. TOTAL AREA _____ SQ. FT. 6. NUMBER OF ROOMS _____

7. PERCENTAGE OF PROPERTY NOW OCCUPIED BY ALL BUILDINGS _____ %

8. PRESENT OCCUPANCY OF BUILDING OR PROPERTY _____

9. ARE THERE ANY DEED RESTRICTIONS ON THE PROPERTY? YES _____
NO (if yes, provide a copy of same)

10. CHARACTER OF BUILDINGS WITHIN 200 FT. OF PROPERTY
Residential single-family homes

11. HAS THERE BEEN ANY PREVIOUS APPEAL INVOLVING THESE
PREMISES? YES _____ NO IF SO, DATE FILED _____
DISPOSITION _____

12. ARE THERE ANY EXISTING VIOLATIONS OF THE ZONING
ORDINANCE? YES _____ NO (IF SO, EXPLAIN) _____

13. IS THIS, OR ANY PART OF THIS PROPERTY IN THE FLOOD ZONE?
YES _____ NO

14. DOES THIS PROPERTY BORDER ON ANY COUNTY ROAD?
YES _____ NO

15. DOES THIS PROPERTY BORDER WITHIN 200 FT. OF ANY OTHER
MUNICIPALITY? YES _____ NO

DESCRIPTION OF PROPOSED CHANGES

16. ARE ANY BUILDINGS TO BE DEMOLISHED? YES _____ NO

17. SIZE OF NEW ADDITION N/A x _____ SQ. FT.

AREA _____ HEIGHT _____

18. SIZE OF NEW BUILDINGS N/A x _____ SQ. FT.

AREA _____ HEIGHT _____

19. PERCENTAGE OF PROPERTY TO BE OCCUPIED BY ALL BUILDINGS

none %

20. NUMBER OF FAMILIES/PERSONS TO BE PROVIDED FOR None

NOTE: ALL APPLICATIONS MUST INCLUDE: 1. Completed Application Form with Affidavits of Accuracy and Ownership. 2. An accurate Location Survey listing location of all structures with dimension to property lines with proposal sketched onto survey or submitted separately. 3. Copy of letter of denial by Construction Code Official or Zoning Officer, if applicable. ALL APPLICATIONS MUST BE FILED NO LESS THAN 30 DAYS PRIOR TO HEARING DATE. ALL PROOFS OF SERVICE, PUBLICATION, AND CERTIFICATE OF TAXES PAID MUST BE COMPLETED AND FILED WITH THE CONSTRUCTION CODE OFFICIAL NO LESS THAN TEN (10) DAYS PRIOR TO THE HEARING DATE. (All Return Receipts must be submitted prior to hearing.)

BOROUGH OF BERGENFIELD
NOTICE TO PROPERTY OWNERS

Notice is hereby given that the ZONING BOARD of ADJUSTMENT of the BOROUGH of BERGENFIELD will hold a public hearing at the Municipal Building, 198 North Washington Avenue, Bergenfield, N.J.

on Monday evening (date), February 1st, 2021,

at 8:00 p.m. or as soon thereafter as the applicant may be heard, to hear and consider the application/appeal of _____

for 304 Merritt Avenue
an inground swimming pool.

The said premises are designated as Lot(s): 4
Block: 41

on the current Tax Assessment Map of the Borough of Bergenfield, and are commonly known by street address as:
304 Merritt Avenue, Bergenfield

These premises are bounded by 298 Merritt Ave; 310 Merritt Ave;
271 Phelps Avenue;

Any maps and documents for which approval is sought by the applicant are available for public inspection between the hours of 9:00 a.m. and 4:00 p.m., Monday through Friday, at the Construction Code Office, located in the Municipal Building, 198 North Washington Avenue, Bergenfield. All persons or property owners interested in this appeal may be heard either in favor of or opposed to the application before the Board at the aforesaid time and place.

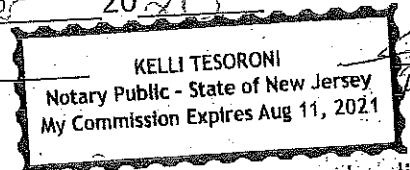
By order of the Board of Adjustment of Bergenfield
AFFIDAVIT BOARD OF ADJUSTMENT
OF THE
BOROUGH OF BERGENFIELD

STATE OF NEW JERSEY
COUNTY OF BERGEN
BOROUGH OF BERGENFIELD

SS: Adrian Maldonado
Name of Applicant

Adrian Maldonado being dully sworn deposes
and says; that he reside at number 304 Merritt Ave in the state of
New Jersey, and says that he is the appellant making appeal
for a variation/appeal of the provisions of the Provisions of the Zoning
Ordinance of the of the Borough of Bergenfield in connection with the
property which is the subject matter of this appeal and known as
number 304 designated as Block 41 and Lot 4 on
the Assessment Map of the Borough of Bergenfield. That all statements
made in this application, and statements made in the plans submitted
herewith are true. The applicant further states that he is ready and able
to proceed with the construction if and when the application is granted.

Sworn to me this- 30
day of November 2020
[Signature]
Notary Public



[Signature]
Applicant

Note: All partnerships and corporations must supply a list of stockholder with
a 10% or greater share, they must also be represented by an Attorney at the hearing.

AFFIDAVIT OF OWNERSHIP

STATE OF NEW JERSEY,
COUNTY OF BERGEN

SS:

Adrian Maldonado of full age, dully sworn according to the law, deposes and says that he resides at 304 Merritt Ave in the Borough of Bergenfield in the country of US in the State of New Jersey that he is the owner in fee of real property lying in the Borough of Bergenfield, known and designated as number _____ and the he hereby authorizes _____ to make the within application in his behalf and that the statements in the said application are true.

Sworn to before me this 30
Day of November 20 20

[Handwritten Signature]



[Handwritten Signature]

Public Notary

Note: all partnership and corporations must supply a list of stockholders with a 10% or greater share, that they must also be represented by an Attorney at the hearing.



BOROUGH OF BERGENFIELD

198 NORTH WASHINGTON AVENUE
BERGENFIELD, NJ 07621
(201) 387-4055 x4 FAX (201) 385-7376

**TAX COLLECTOR'S CERTIFICATION
PAYMENT OF PROPERTY TAXES**

Date 11/30/2020
Block 41 Lot 4 Address 304 Merritt Avenue
Owners Name Adrian and Debra Maldonado
Owner's Address 304 Merritt Avenue
Phone Number _____ Cell Number 917-846-7931
Application for: Board of Adjustment _____ Planning Board
_____ Building Department Permit

Description of Work to be performed:

Inground Swimming Pool

All applications for the above are required to obtain a certification from the Tax Collector's Office prior to receiving placement on the agenda of any board and / or receiving a permit From the building department for construction or certificate of occupancy. "No Exceptions"

Tax Office Use Only:

Tax Current Yes _____ No Last Quarter Paid On: 10/22/20
(Printout Attached)

Tax Collector/Deputy Tax Collector Certification:

[Signature]
Certification Number T-8454

1-14-21
Date:

January 14, 2021
03:00 PM

BOROUGH OF BERGENFIELD
Tax Account Detail Inquiry

BLQ: 41. 4.
Owner Name: MALDONADO, ADRIAN & DEBRA

Tax Year: 2020 to 2020
Property Location: 304 MERRITT AVENUE

Tax Year: 2020	Qtr 1	Qtr 2	Qtr 3	Qtr 4	Total
Original Billed:	4,551.31	4,551.30	4,629.44	4,685.25	18,417.30
Payments:	4,551.31	4,551.30	4,629.44	4,685.25	18,417.30
Balance:	0.00	0.00	0.00	0.00	0.00

Date	Qtr	Type	Code	Check No	Mthd	Reference	Batch Id	Principal	Interest	2020 Prin Balance
		Original Billed						18,417.30		18,417.30
01/28/20	1	Payment	01		CK	17135	33 JCO1	4,551.31	0.00	13,865.99
		LERETA TAX PMT FILE								
05/04/20	2	Payment	01		CK	17466	32 JCO1	4,551.30	0.00	9,314.69
		LERETA TAX FILE PMT								
07/30/20	3	Payment	01		CK	17785	34 JCO1	4,629.44	0.00	4,685.25
		LERETA TAX PMT FILE								
10/22/20	4	Payment	01		CK	18100	36 JCO1	4,685.25	0.00	0.00
		LERETA TAX PAYMENT								

Total Principal Balance for Tax Years in Range: 0.00



DRAINAGE CALCULATIONS

For: 304 Merritt Avenue
Lot 4, Block 41
Borough of Fort Lee
Bergen County, New Jersey
November 12, 2020

A handwritten signature in black ink, appearing to read "Steven L. Koestner", written over a horizontal line.

Steven L. Koestner, P.E., L.S. Lisc. # 27901
KOESTNER ASSOCIATES
Professional Engineers & Land Surveyors, since 1914

**Drainage Calculations
for
304 Merritt Avenue
Lot 4, Block 41
Borough of Fort Lee
Bergen County, NJ**

November 12, 2020

Lot Area = 6,127 SF = 0.1407 Acres

Existing Conditions

Dwelling	= 1,608 SF
Steps/Walks	= 420 SF
Rear Patio/Kitchen	= 1,151 SF
Wall	= 98 SF
AC	= 4 SF
Driveway	= <u>507 SF</u>
Total Impervious =	3,788 SF

$$\text{Existing 'c'} = (3,788/6,127 \times 0.9) + (2,339/6,127 \times 0.35) = 0.69$$

Proposed Conditions

Dwelling	= 1,608 SF
Steps/Walks	= 420 SF
Wall	= 98 SF
Prop. Wall	= 16 SF
AC & Pool Equip.	= 36 SF
Prop. Pool	= 432 SF
Prop. Patio	= 1,029 SF
Driveway	= <u>507 SF</u>
Proposed Impervious	= 4,146 SF

$$\text{Proposed 'c'} = (4,146/6,127 \times 0.9) + (1,981/6,127 \times 0.35) = 0.72$$

$$Q = ciA$$

$$I = 6.7 \text{ in./hr.} - 25 \text{ Year Storm} - 10 \text{ minute Duration; } T_c = 10 \text{ minutes}$$

$$Q_{\text{exist}} = 0.69 \times 6.7 \times 0.14 = 0.65 \text{ CFS}$$

$$Q_{\text{proposed}} = 0.72 \times 6.7 \times 0.14 = 0.68 \text{ CFS}$$

$$\text{Existing Runoff} = ((0.65 \times 60 \times 10)/2 \times 2) + (0.65 \times 60 \times 0) = 390 \text{ CF}$$

$$\text{Proposed Runoff} = ((0.68 \times 60 \times 10)/2 \times 2) + (0.68 \times 60 \times 0) = 408 \text{ CF}$$

$$\text{Change in Runoff} = 408 - 390 = 18 \text{ CF}$$

$$Q = ciA$$

$$I = 2.4 \text{ in./hr.} - 25 \text{ Year Storm} - 60 \text{ minute Duration; } T_c = 10 \text{ minutes}$$

$$Q_{\text{exist}} = 0.69 \times 2.4 \times 0.14 = 0.23 \text{ CFS}$$

$$Q_{\text{proposed}} = 0.72 \times 2.4 \times 0.14 = 0.24 \text{ CFS}$$

$$\text{Existing Runoff} = ((0.23 \times 60 \times 10)/2 \times 2) + (0.23 \times 60 \times 50) = 828 \text{ CF}$$

$$\text{Proposed Runoff} = ((0.24 \times 60 \times 10)/2 \times 2) + (0.24 \times 60 \times 50) = 864 \text{ CF}$$

$$\text{Change in Runoff} = 864 - 828 = 36 \text{ CF}$$

Determine if proposed Stormwater system has adequate capacity to handle New Impervious Area runoff from 10 Year - 60 minute storm of 2.0".

Proposed Increase in Impervious Area

$$\text{Proposed Area Increase} = 4,146 - 3,788 = 358 \text{ SF}$$

$$c = 0.90$$

$$\text{Expected Runoff} = 0.90 \times 2.00/12 \times 358 = 54 \text{ CF}$$

Capacity of System : (neglect percolation)

Use (1) Cultec 280HD chambers, with 6" Stone Foundation.

Cultec 280HD Chamber (w/6" Stone Foundation): 64.46 cf/chamber

$$\text{Total Capacity: } 1 \times 64.46 = 64 \text{ CF (vs. 54 CF)}$$

System is adequate to handle increase in runoff from 25 Year - 1 hour storm.

Subject to Soil Log and Percolation Test.

PROPERTY IN THE BOROUGH OF BERGENFIELD, BERGEN COUNTY, NEW JERSEY

Survey of property known as Lot 4 in Block 194-B as shown on a certain map entitled "Subdivision of MOMAR ESTATES, SEC. 2 Bergenfield, N.J." and filed in the Bergen County Clerk's Office on January 27, 1950 as Map No. 3854.

Certified to: ADRIAN MALDONADO AND DEBRA MALDONADO, HUSBAND AND WIFE,
to be correct.

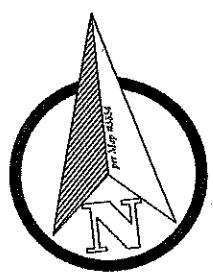
Scale: 1" = 20 feet

Being Lot 4 in Block
41 on the Tax Map.



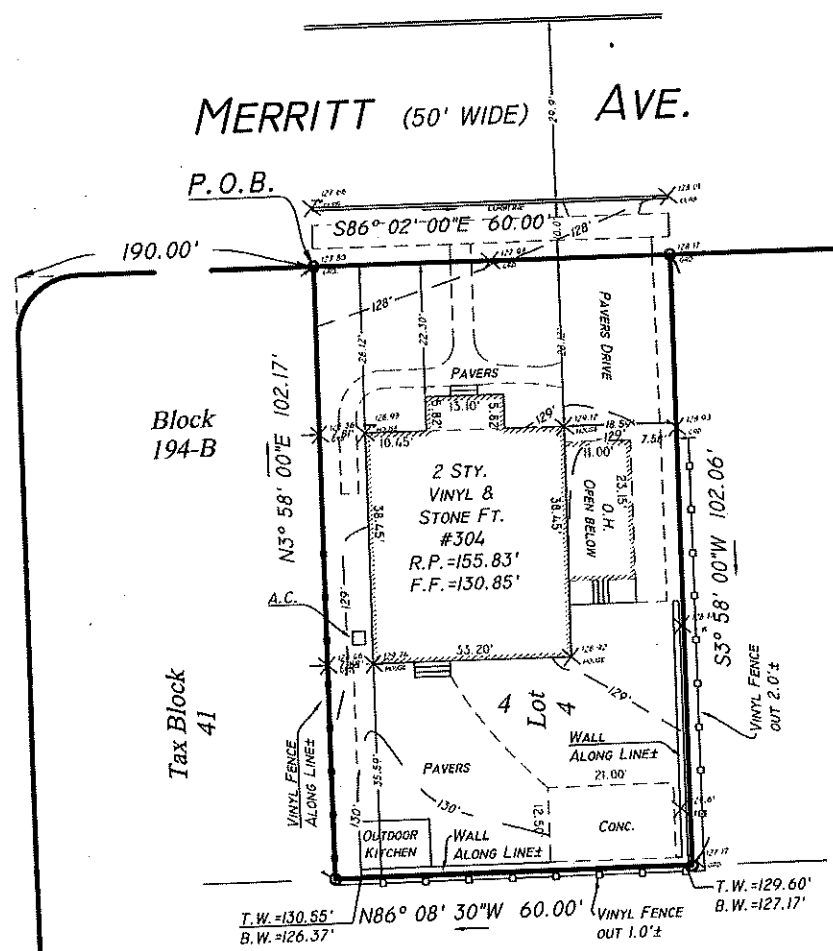
Steven L. Koestner
STEVEN L. KOESTNER
P.E. & L.S. NJ LIC. # 27901/ NY LIC. # 50865
KOESTNER ASSOCIATES
PROFESSIONAL ENGINEERS & LAND SURVEYORS
HACKENSACK, N.J. 07602
February 4, 2014

Rev. to show Addition & Topography: August 26, 2020



CHESTNUT (60' WIDE) ST.

MERRITT (50' WIDE) AVE.



PROPERTY IN THE BOROUGH OF BERGENFIELD, BERGEN COUNTY, NEW JERSEY

Survey of property known as Lot 4 in Block 194-B as shown on a certain map entitled "Subdivision of MOMAR ESTATES, SEC. 2 Bergenfield, N.J." and filed in the Bergen County Clerk's Office on January 27, 1950 as Map No. 3854.

Certified to: ADRIAN MALDONADO AND DEBRA MALDONADO, HUSBAND AND WIFE,
to be correct.

Scale: 1" = 20 feet

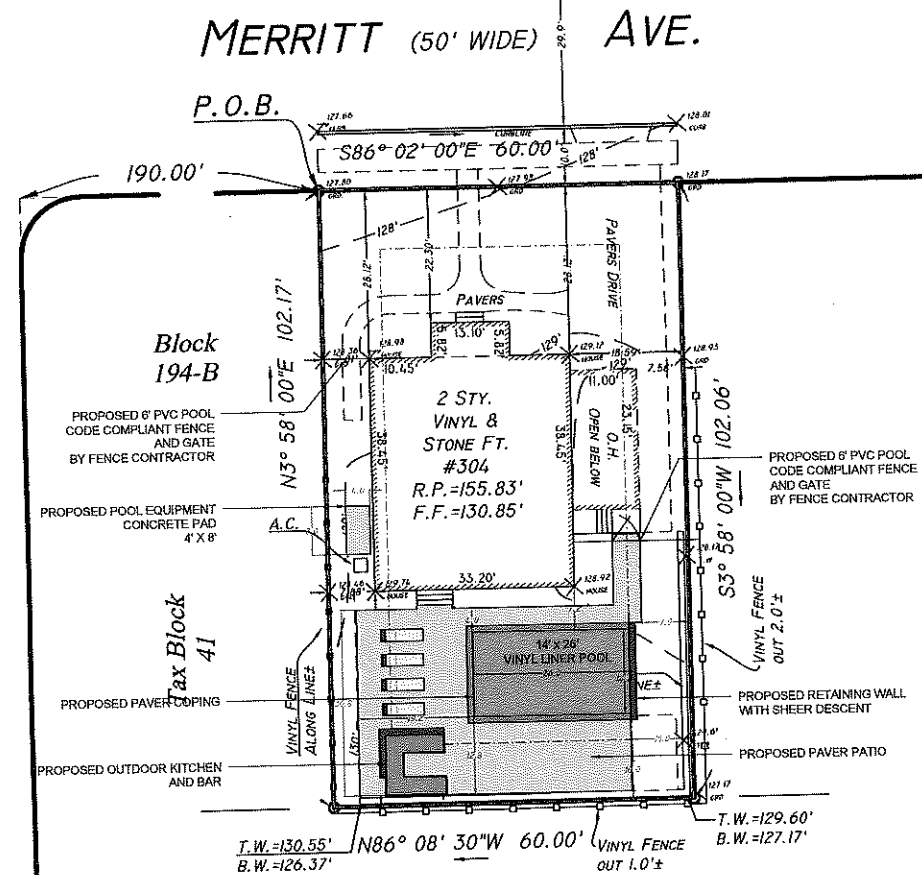
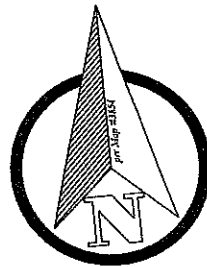
Being Lot 4 in Block
41 on the Tax Map.



STEVEN L. KOESTNER
P.E. & L.S. NJ LIC. # 27901/ NY LIC. # 50865
KOESTNER ASSOCIATES
PROFESSIONAL ENGINEERS & LAND SURVEYORS
HACKENSACK, N.J. 07602
February 4, 2014

Rev. to show Addition & Topography: August 26, 2020

ZONING CALCULATIONS	PROPOSED POOL AND COPING: 448 SF
IMPERVIOUS COVERAGE	PROPOSED POOL PATIO: 881 SF
EXISTING LOT AREA: 6,126.99 SF	PROPOSED POOL EQUIPMENT PAD: 32 SF
EXISTING HOME AND PORCH: 1,610.49 SF	PROPOSED OUTDOOR KITCHEN: 69.16 SF
EXISTING DRIVEWAY: 641.67 SF	TOTAL PROPOSED IMPERVIOUS COVERAGE:
EXISTING WALK AND STEPS: 252.01 SF	1,450.16 = 4.7% TOTAL PROPOSED IMPERVIOUS COVERAGE
EXISTING PATIOS: 1050.62 SF TO BE REMOVED	TOTAL COMBINED IMPERVIOUS COVERAGE:
EXISTING A/C PADS: 8 SF	3,962.33 = 64.6% TOTAL COMBINED IMPERVIOUS COVERAGE
3,562.79 = 58.1% TOTAL IMPERVIOUS COVERAGE	



2-14/14-15



BOROUGH OF BERGENFIELD

198 NORTH WASHINGTON AVENUE
BERGENFIELD, NEW JERSEY 07621

CONSTRUCTION CODE DEPT.
(201) 387-4055 EXT. 1-4092
FAX: (201) 385-7376

October 19, 2020

Adrian Maldonado
304 Merritt Avenue
Bergenfield, NJ 07621

RE: Inground Swimming Pool

Dear Mr. Maldonado

Your application for inground swimming pool has been denied for the following reason:

1. Improved lot coverage required 35% or 2,144.45 sq. feet. Proposed improved lot coverage 61.9% or 3,793.06 sq. feet with 10% bonus for brick pavers on driveway and pool patio included.

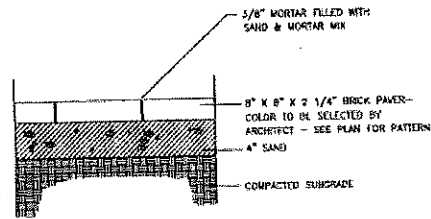
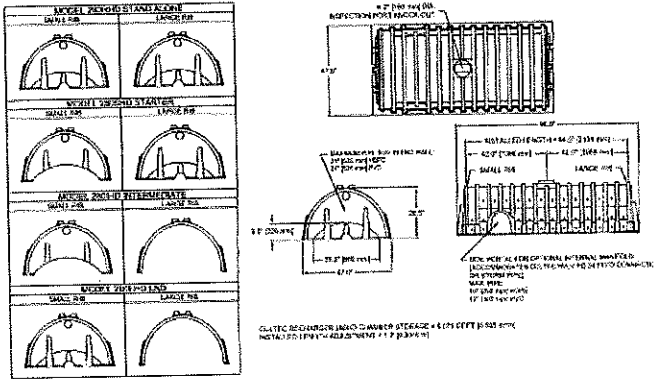
You have the right to appeal my decision to the zoning board of adjustment. You must contact the Building Department to obtain the proper applications.

If you have any question on the above matter, please contact our office. You can call the Building Department at 201-387-4055 Ext. 4

Sincerely,

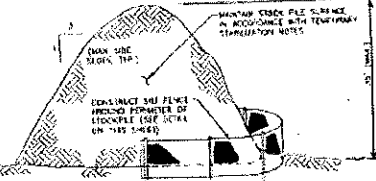
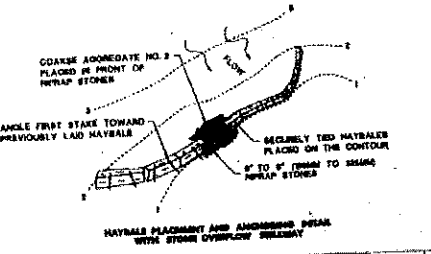
Michael Ravenda
Zoning Officer

Three View Drawing

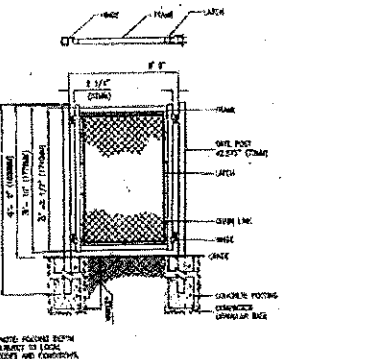


PAVING
BRICK PAVERS ON SAND BASE

- NOTES:
1. THIS DRAWING IS THE PROPERTY OF CULTEC, INC. AND HAS BEEN MADE AVAILABLE TO DESIGN PROFESSIONALS FOR INFORMATION PURPOSES ONLY.
 2. REPRODUCTION AND DISTRIBUTION OF THIS DRAWING IS STRICTLY PROHIBITED.
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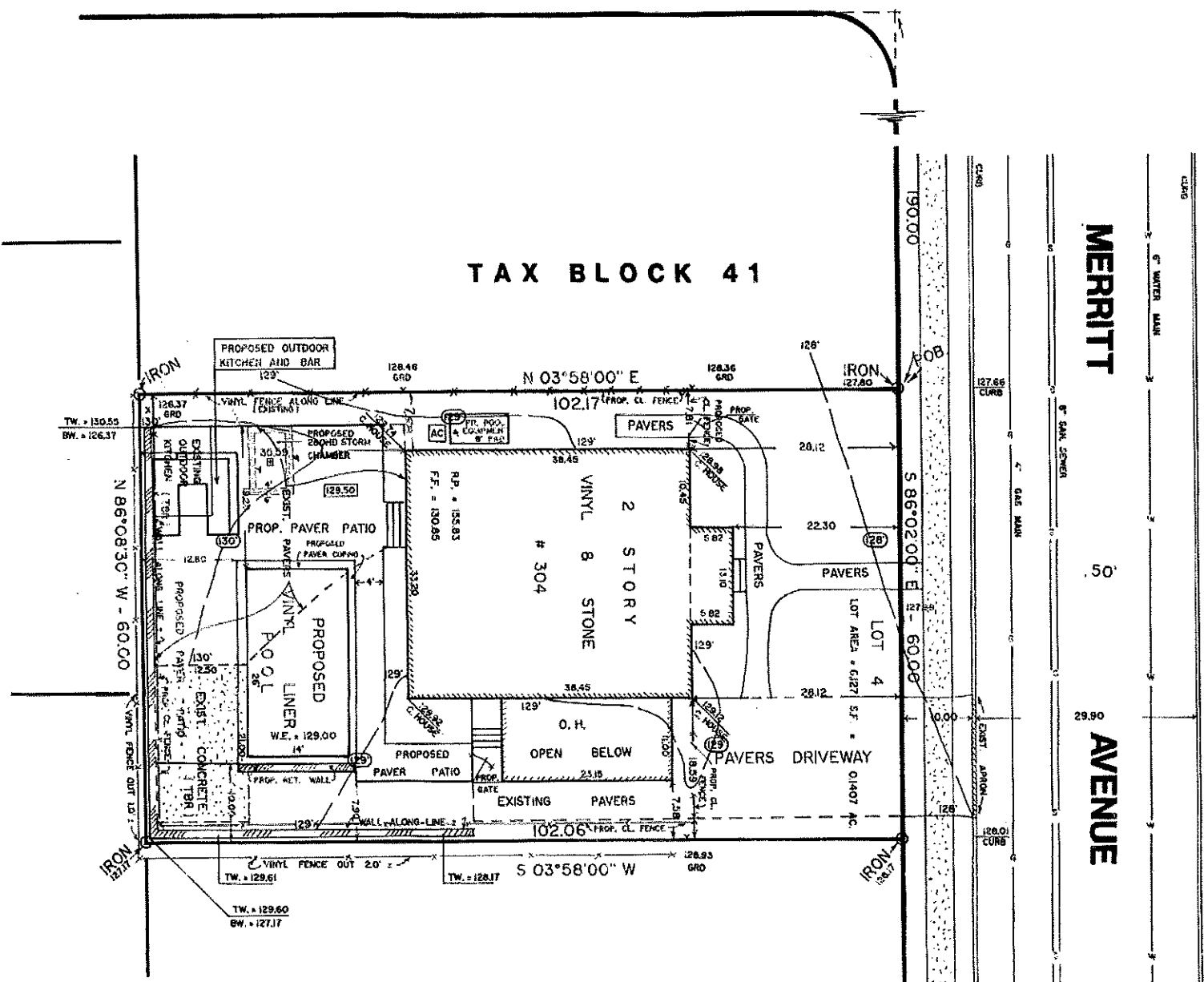


TEMPORARY STOCKPILE DETAIL
NOT TO SCALE

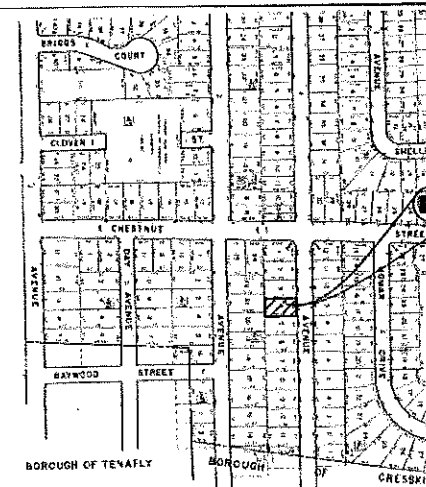


CHESTNUT STREET

TAX BLOCK 41



MERRITT AVENUE



KEY MAP

APPROVED BY THE PLANNING BOARD OF BOROUGH OF BERGENFIELD

DATE _____

CHAIRMAN _____

SECRETARY _____

BOARD ENGINEER _____

ZONING SCHEDULE, DISTRICT (RESIDENTIAL ONE FAMILY)

	REQUIRED	EXISTING
MIN. LOT AREA, SF	6,000	6,127
MIN. LOT WIDTH, FT.	60	60
MIN. FRONT YARD, FT.	25	28.12
MIN. SIDE YARD, FT. (ONE)	7.5 - 15	7.81-26.40
MIN. REAR YARD, FT.	25	35.59
MAX. LOT COVER, %	30	26.24
MAX. IMPROVED LOT COVER, %	35	61.82**
MAX. BLDG. HEIGHT, FT-SIV.	30/2	27/2

** PREEXISTING CONDITION
*VARIANCE

NOTES: DATUM IS NGVD 1929
LOCATION OF UTILITIES IS APPROXIMATE. MUST BE VERIFIED BY ANY CONSTRUCTION.

OWNER OF RECORD: ADRIAN MALDONADO & DEE
304 MERRITT AVENUE,
BERGENFIELD, NJ 07621.

GRAPHIC SCALE
1" = 10'

SITE PLAN FOR PROPOSED
OF LOT 4 IN BLOCK 41
ON THE TAX MAP OF THE
BOROUGH OF BERGENFIELD
BERGEN COUNTY, NEW JERSEY

DATE 11/06/2020
STEVEN I. KOESMANN

FILE NO. _____ DATE _____
DATE OF HEARING _____ DISPOSITION _____

BOARD OF ADJUSTMENT
MUNICIPAL BUILDING, BERGENFIELD, N.J.

APPLICATION FOR VARIATION/APEAL
OF REQUIREMENTS OF ZONING ORDINANCE 1123

APPLICANT'S NAME David Landman
ADDRESS 40 Hampton Court
OWNER'S NAME David Landman
OWNER'S ADDRESS 40 Hampton Court PHONE # 246-773-8342
FED I.D. # or S.S. # 074-72-8591

Applicant will be represented at public hearing by David Landman

TO THE BOARD OF ADJUSTMENT:

Application is hereby made for a variation/appeal from the requirements of Section (s) _____ and /or from the requirements of the Scheduled Limiting Bulk of Buildings of the Zoning Ordinance in accordance with plans and specifications attached hereto and/or decision of Zoning Officer. The location of this property is at

NUMBER: 40 Hampton Court
DESIGNATED AS Block (s) 304/12 and lot (s) 40, 41, 42
On the Assessment Map of the Borough of Bergenfield.

ZONING DISTRICT _____
VARIANCES REQUIRED: LOT AREA _____ LOT FRONTAGE _____
LOT COVERAGE FRONT YARD _____ REAR YARD _____ SIDE YARD _____
TOTAL SIDE YARD _____ OTHER (specify) _____

THE REASON FOR DESIRED VARIANCE/APEAL
We would like to replace our existing deck with a
larger deck.

DESCRIPTION OF PROPERTY

1. SIZE OF LOT _____ X _____ 2. SQUARE FEET IN LOT _____

3. SIZE OF PRESENT BUILDING _____ X _____ 4. STORIES _____
_____ X _____

5. TOTAL AREA _____ SQ. FT. 6. NUMBER OF ROOMS _____

7. PERCENTAGE OF PROPERTY NOW OCCUPIED BY ALL BUILDINGS 35 %

8. PRESENT OCCUPANCY OF BUILDING OR PROPERTY single family home

9. ARE THERE ANY DEED RESTRICTIONS ON THE PROPERTY? YES _____
NO (If yes, provide a copy of same)

10. CHARACTER OF BUILDINGS WITHIN 200 FT. OF PROPERTY single family homes

11. HAS THERE BEEN ANY PREVIOUS APPEAL INVOLVING THESE PREMISES?
YES _____ NO IF SO, DATE FILED _____

DISPOSITION _____

12. ARE THERE ANY EXISTING VIOLATIONS OF THE ZONING ORDINANCE?
YES _____ NO (IF SO, EXPLAIN) _____

13. IS THIS, OR ANY PART OF THIS PROPERTY IN THE FLOOD ZONE?
YES _____ NO

14. DOES THIS PROPERTY BORDER ON ANY COUNTY ROAD?
YES _____ NO

15. DOES THIS PROPERTY BORDER WITHIN 200 FT. OF ANY OTHER MUNICIPALITY?
YES _____ NO _____

DESCRIPTION OF PROPOSED CHANGES

- 16. ARE ANY BUILDINGS TO BE DEMOLISHED? YES _____ NO
 - 17. SIZE OF NEW ADDITION N/A x N/A SQ. FT.
_____ AREA _____ HEIGHT
 - 18. SIZE OF NEW BUILDINGS N/A x N/A SQ. FT.
_____ AREA _____ HEIGHT
 - 19. PERCENTAGE OF PROPERTY TO BE OCCUPIED BY ALL BUILDINGS
_____ %
 - 20. NUMBER OF FAMILIES/PERSONS TO BE PROVIDED FOR 1
-

NOTE: ALL APPLICATIONS MUST INCLUDE:

- 1. Completed Application Form with Affidavits of Accuracy and Ownership.
- 2. An accurate Location Survey listing location of all structures with dimension to property lines with proposal sketched onto survey or submitted separately.
- 3. Copy of letter of denial by Construction Code Official or Zoning Officer, if applicable.

- ALL APPLICATIONS MUST BE FILED NO LESS THAN 30 DAYS PRIOR TO HEARING DATE.
- ALL PROOFS OF SERVICE, PUBLICATION, AND CERTIFICATE OF TAXES PAID MUST BE COMPLETED AND FILED WITH THE CONSTRUCTION CODE OFFICAL NO LESS THAN TEN (10) DAYS PRIOR TO THE HEARING DATE.
- ALL RETURN RECEIPTS MUST BE SUBMITTED PRIOR TO HEARING.

By order of the Board of Adjustment of Bergenfield
AFFIDAVIT BOARD OF ADJUSTMENT
OF THE
BOROUGH OF BERGENFIELD

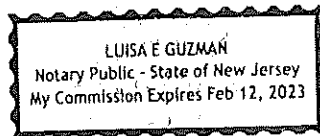
STATE OF NEW JERSEY
COUNTY OF BERGEN SS: David Landman
BOROUGH OF BERGENFIELD Name of Applicant

David Landman being dully sworn deposes
and says; that he resides at number 40 Hampton Court in the state of
New Jersey, and says that he is the appellant making appeal
for a variation/appeal of the provisions of the Provisions of the Zoning
Ordinance of the of the Borough of Bergenfield in connection with the
property which is the subject matter of this appeal and known as
number 40 Hampton designated as Block 3d/12 and Lot 40, 41, 42 on
the Assessment Map of the Borough of Bergenfield. That all statements
made in this application, and statements made in the plans submitted
herewith are true. The applicant further states that he is ready and able
to proceed with the construction if and when the application is granted.

Sworn to me this- January
day of 05 2021
Severin Bergman
Notary Public

[Signature]
Applicant

Note: All partnerships and corporations must supply a list of stockholders with
a 10% or greater share, they must also be represented by an Attorney at the hearing.



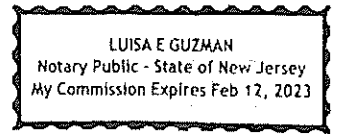
AFFIDAVIT OF OWNERSHIP

STATE OF NEW JERSEY,
COUNTY OF BERGEN

SS:

David Landman of full age, dully sworn according to the law, deposes and says that he resides at 40 Hampton Court in the Borough of Bergenfield in the country of United States in the State of New Jersey that he is the owner in fee of real property lying in the Borough of Bergenfield, known and designated as number 40 Hampton Court and the he hereby authorizes David Landman to make the within application in his behalf and that the statements in the said application are true.

Sworn to before me this January
Day of 05 2021



[Signature]
Owner

[Signature]
Public Notary

Note: all partnership and corporations must supply a list of stockholders with a 10% or greater share, that they must also be represented by an Attorney at the hearing.



TAX COLLECTOR'S CERTIFICATION
PAYMENT OF PROPERTY TAXES

Date Jan. 5, 2021
Block 30412 Lot 4091, 42 Address 40 Hampton Court
Owners Name David Landman
Owner's Address 40 Hampton Court
Phone Number 46-773-8342 Cell Number 216-773-8342
Application for: Board of Adjustment Planning Board
 Building Department Permit

Description of Work to be performed:
New deck addition

All applications for the above are required to obtain a certification from the Tax Collector's Office prior to receiving placement on the agenda of any board and / or receiving a permit from the building department for construction or certificate of occupancy. "No Exceptions"

Tax Office Use Only:

Tax Current Yes No Last Quarter Paid On: 11-2-20
(Printout Attached)

Tax Collector/Deputy Tax Collector Certification:

[Signature]
Certification Number T-8454 Date: 1-5-21

January 5, 2021
11:14 AM

BOROUGH OF BERGENFIELD
Tax Account Detail Inquiry

Page No: 1

BLQ: 304. 12.
Owner Name: LANDMAN, DAVID & ELANA

Tax Year: 2020 to 2020
Property Location: 40 HAMPTON COURT

Tax Year: 2020	Qtr 1	Qtr 2	Qtr 3	Qtr 4	Total
Original Billed:	4,067.72	4,067.71	4,137.55	4,187.42	16,460.40
Payments:	4,067.72	4,067.71	4,137.55	4,187.42	16,460.40
Balance:	0.00	0.00	0.00	0.00	0.00

Date	Qtr	Type	Code	Check No	Mthd	Reference	Batch Id	Principal	Interest	2020 Prin Balance
								16,460.40		16,460.40
		Original Billed								
02/04/20	1	Payment	01	3391	CK	17159	19 LG	4,067.72	0.00	12,392.68
		WINDOW								
05/06/20	2	Payment	01	3392	CK	17476	22 JCO1	4,067.71	0.00	8,324.97
		window								
08/04/20	3	Payment	01	3395	CK	17806	82 LG	4,137.55	0.00	4,187.42
		WINDOW								
11/02/20	4	Payment	01		CK	18157	2787 JCO1	4,187.42	0.00	0.00
		CORELOGIC TAX PMT								

Total Principal Balance for Tax Years in Range: 0.00

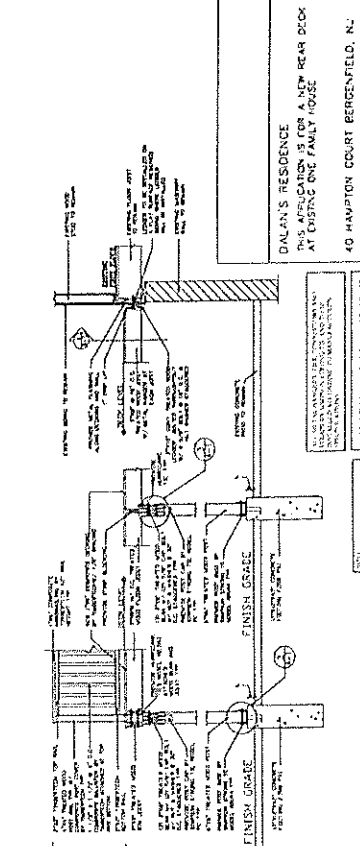
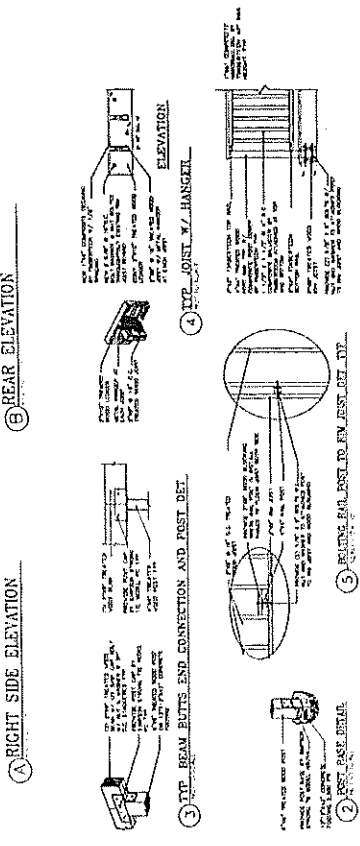
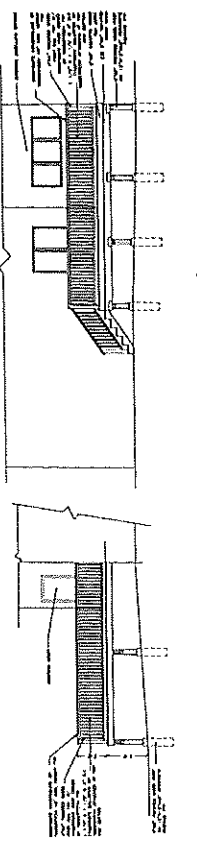
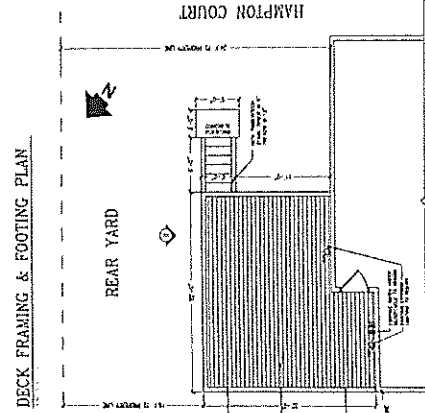
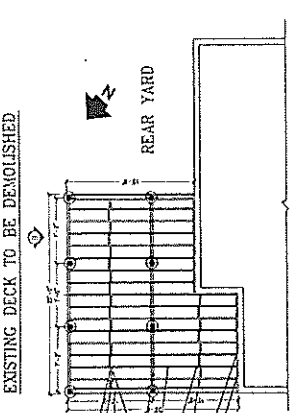
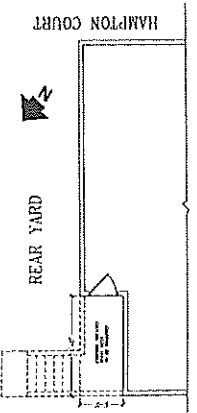
PROPOSED REAR YARD DECK AT FIRST FLOOR ON EXISTING ONE FAMILY HOUSE 40 HAMPTON COURT BERGENFIELD, NJ LOT: 304 BLOCK: 12

BUILDING DATA

2018 INTERNATIONAL RESIDENTIAL CODES IN EB
 THIS APPLICATION IS TO DEMOLISH EXISTING DECK AND CONSTRUCT NEW DECK
 EXISTING USE: ONE FAMILY HOUSE
 CONSTRUCTION CLASS: 50
 DECK AREA: 383 S.F.

OWNER	DATE
DAIAN'S RESIDENCE	11/16/2023
DATE OF SUBMITTAL	11/16/2023
DATE OF APPROVAL	

GENERAL NOTES:
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODES AND LOCAL ORDINANCES.
 2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODES AND LOCAL ORDINANCES.
 3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODES AND LOCAL ORDINANCES.

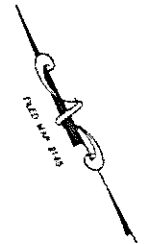
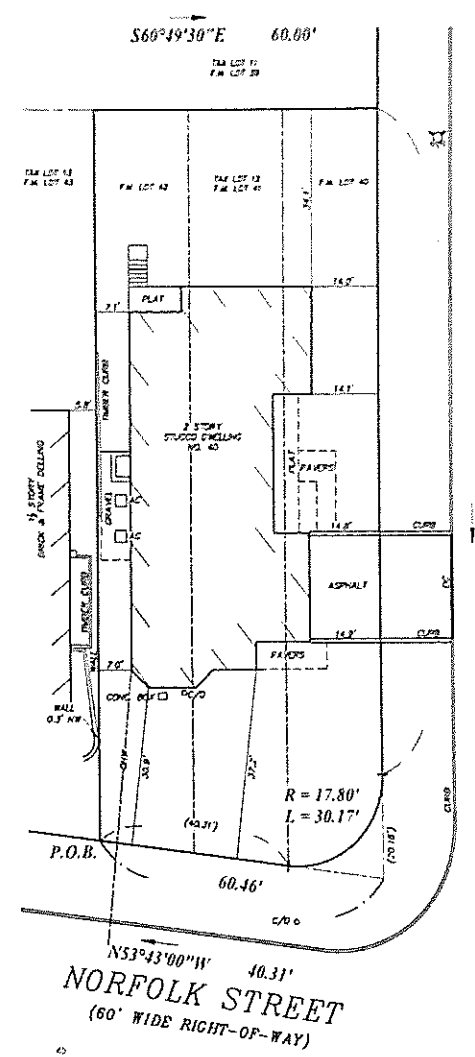
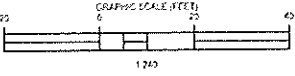


1. FINISH GRADE SHALL BE AS SHOWN.
 2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODES AND LOCAL ORDINANCES.
 3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODES AND LOCAL ORDINANCES.

DAIAN'S RESIDENCE
 40 HAMPTON COURT BERGENFIELD, NJ
 DATE: 11/16/2023
 SHEET: 1 OF 1

120 AREA, 1,800 SQUARE FEET
 CORNER
 BEARING, 2.584
 DISTANCE, 1.000
 TOTAL, 1.307 / 33.78

- LEGEND**
- HI : AREA INACCESSIBLE
 - BLDG: BUILDING
 - BLDG: BUILDING
 - (E) : EXPOSED MANHOLE
 - CLF : CHAIN LINK FENCE
 - CONC: CONCRETE
 - C/O : CLEAN-OUT
 - C/W : CEMENT
 - C/W : CEMENT
 - (C) : CEMENT DIMENSION
 - CC : EXPOSED CURB
 - OUT : OUT WIRE
 - HTG: CELLAR HATCH
 - HYD: HYDRANT
 - HTG: HIGH PIP SET/STAND
 - IP : IRON PIPE FOUND
 - LP : LIGHT POLE
 - (M) : MEASURED DIMENSION
 - MON: MONITORING WELL
 - MON: MONUMENT
 - WALL: WALK-WALK SET/STAND
 - MT : METAL/STEEL FENCE
 - OPW : OVERHEAD WIRE
 - OL : OIL FILLER
 - POB : POINT OF BEGINNING
 - S/T : STAKE & TAG SET
 - SM : SURVEY MARKER
 - TRM : TRANSFORMER UTILITY
 - UT : UTILITY POLE
 - VF : VERTICAL FENCE
 - WALL: CROSS CUT SET/STAND
 - WF : WOOD FENCE
 - WF : WOOD FENCE



RECORDED: SEPTEMBER 1 2020 TO PROVIDE BLOCK/LOT/PAVEMENT COVERAGE
 REFERENCE: WEST END/ROAD PARK, TOWNSHIP AND BERGEN/COUNTY NEW JERSEY, HUDSON WEST SHORE REALTY, FILED IN THE BERGEN COUNTY CLERK'S OFFICE ON SEPTEMBER 14, 2020 AS MAP NO. 2143

LOCATION SURVEY OF
 40 HAMPTON COURT, BOROUGH OF BERGENFIELD, BERGEN COUNTY, NEW JERSEY

TAX BLOCK/LOT: 304/12	DATE: AUGUST 21, 2020	SCALE: 1"=20'
DEED BOOK/PAGE: V3412/27	ORDER NUMBER: 02A-18121	FILE NUMBER: LRTA-1343

SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD. THIS SURVEY IS SUBJECT TO ANY FACTS THAT MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.

THE INFORMATION SHOWN HEREBY REPRESENTS THE CONDITIONS FOUND AT THE SITE ON THE DATE OF THE FIELD SURVEY, EXCEPT SUCH IMPROVEMENTS OR EASEMENTS, IF ANY, BEYOND THE SURFACE OF THE FOUND AND NOT VISIBLE.

NO ATTEMPT SHOULD BE MADE TO PHYSICALLY ESTABLISH THE LOCATION OF EASEMENT LINES FOR THE PURPOSE OF CONSTRUCTION OF PERMANENT IMPROVEMENTS BY USING DIMENSIONS SHOWN ON THE SURVEY OR SEALED DISTANCES HEREON.

THIS MAP OR ANY PART THEREOF IS NOT TO BE REPRODUCED WITHOUT WRITTEN CONSENT BY BEHAR SURVEYING ASSOCIATES, PC.

COPIES OF THIS PLAN WITHOUT AN ORIGINAL SIGNATURE AND IMPRESSION SEAL ARE NOT VALID.

THIS IDENTIFICATION IS MADE ONLY TO IDENTIFY NAMED PARTIES FOR PURPOSES OF NOTICE OF HEARD DELINEATED PROPERTY BY NAMED PURCHASERS, NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY SURVEYOR FOR USE OF SURVEY FOR ANY OTHER PURPOSE, INCLUDING BUT NOT LIMITED TO, USE OF SURVEY FOR A SURVEY, INTEREST, RECORD OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN IDENTIFICATION EITHER DIRECTLY OR INDIRECTLY.

A WRITTEN WAIVER AND DISCRETION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO N.J.A.C. 17:27-2.1(c).

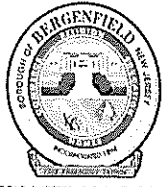
THIS SURVEY IS DEEMED AS HAVING BEEN PREPARED UNDER MY DIRECT SUPERVISION BY THE FOLLOWING:

- LAND AND CLARA LINDHAY
- LAND PUNCH TITLE AGENCY, LLC A FIRST AMERICAN TITLE INSURANCE COMPANY
- DETROIT S. THADDEUS, ESQUIRE
- KEYSTONE NATIONAL ASSOCIATION, ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR

Behar Surveying Associates, PC
 Land Surveying & Mapping Services
 61 Locust Lane, East Rutherford, NJ 07073
 Phone: 973-778-0010; Fax: 973-778-0027
 www.beharsurveying.com

WILLIAM B. KLAPPER
 PROFESSIONAL LAND SURVEYOR
 NJ LICENSE NO. 240503312500

JEREMY A. KLAPPER
 PROFESSIONAL LAND SURVEYOR
 NJ LICENSE NO. 246504331800
 NY LICENSE NO. 050878
 CT LICENSE NO. LSK0077469
 IN LICENSE NO. LS0002357
 DC LICENSE NO. LS0002033
 VT LICENSE NO. 024.0131185
 KY LICENSE NO. 4239
 PA LICENSE NO. SU075625



BOROUGH OF BERGENFIELD

198 NORTH WASHINGTON AVENUE
BERGENFIELD, NEW JERSEY 07621

CONSTRUCTION CODE DEPT.
(201) 387-4055 EXT. 1-4092
FAX: (201) 385-7376

December 3, 2020

David Landman
40 Hampton Court
Bergenfield, NJ 07621

RE: Deck 15' x 22'

Dear Mr. Landman

Your application for a 15' x 22' deck has been denied for the following reason:

1. Required improved lot coverage 35% or 3,034.15sq. feet. Proposed improved lot coverage 42.5% or 3,688 sq. feet.

You have the right to appeal my decision to the Zoning Board of Adjustment. You must contact the Building Department to obtain the proper applications.

If you have any question on the above matter, please contact our office. You can call the Building Department at 201-387-4055 Ext. 4

Sincerely,

Michael Ravenda
Zoning Officer