

FILE NO. _____ DATE _____

DATE OF HEARING _____ DISPOSITION _____

BOARD OF ADJUSTMENT
MUNICIPAL BUILDING, BERGENFIELD, N.J.

APPLICATION FOR VARIATION/APPEAL
OF REQUIREMENTS OF ZONING ORDINANCE 1123

APPLICANT'S NAME Rick Russell

ADDRESS 39 East Central Ave

OWNER'S NAME Rick Russell

OWNER'S ADDRESS 39 East Central Ave PHONE # [REDACTED]

FED I.D. # or S.S. # [REDACTED]

Applicant will be represented at public hearing by Wayne Guskind, RA., NCARB

TO THE BOARD OF ADJUSTMENT:

Application is hereby made for a variation/appeal from the requirements of Section (s) _____ and /or from the requirements of the Scheduled Limiting Bulk of Buildings of the Zoning Ordinance in accordance with plans and specifications attached hereto and/or decision of Zoning Officer. The location of this property is at

NUMBER: 39 East Central Ave

DESIGNATED AS Block (s) 27 and lot (s) 35

On the Assessment Map of the Borough of Bergenfield.

ZONING DISTRICT R-5

VARIANCES REQUIRED: LOT AREA [REDACTED] LOT FRONTAGE _____

LOT COVERAGE FRONT YARD _____ REAR YARD _____ SIDE YARD _____

TOTAL SIDE YARD _____ OTHER (specify) _____

THE REASON FOR DESIRED VARIANCE/APPEAL

Lot Coverage over 40%

DESCRIPTION OF PROPERTY

- 1. SIZE OF LOT 40 X 98 2. SQUARE FEET IN LOT 3920
- 3. SIZE OF PRESENT BUILDING 22 X 33.5 4. STORIES 2.5
18 X 20 - Garage Detached
- 5. TOTAL AREA 1216 SQ. FT. 6. NUMBER OF ROOMS 8 (3 beds)
- 7. PERCENTAGE OF PROPERTY NOW OCCUPIED BY ALL BUILDINGS ~~31.02~~ 31.02 %
- 8. PRESENT OCCUPANCY OF BUILDING OR PROPERTY Single Family

9. ARE THERE ANY DEED RESTRICTIONS ON THE PROPERTY? YES _____
NO (If yes, provide a copy of same)

10. CHARACTER OF BUILDINGS WITHIN 200 FT. OF PROPERTY _____
Single family homes

11. HAS THERE BEEN ANY PREVIOUS APPEAL INVOLVING THESE PREMISES?
YES _____ NO IF SO, DATE FILED _____

DISPOSITION _____

12. ARE THERE ANY EXISTING VIOLATIONS OF THE ZONING ORDINANCE?
YES _____ NO (IF SO, EXPLAIN) _____

13. IS THIS, OR ANY PART OF THIS PROPERTY IN THE FLOOD ZONE?
YES _____ NO

14. DOES THIS PROPERTY BORDER ON ANY COUNTY ROAD?
YES _____ NO

15. DOES THIS PROPERTY BORDER WITHIN 200 FT. OF ANY OTHER
MUNICIPALITY?
YES _____ NO

DESCRIPTION OF PROPOSED CHANGES

16. ARE ANY BUILDINGS TO BE DEMOLISHED? YES _____ NO

17. SIZE OF NEW ADDITION 12.8 x 22 SQ. FT.

376 AREA 26.6 HEIGHT

18. SIZE OF NEW BUILDINGS 22.19 x 44.5 SQ. FT.

1000 AREA 26.6 HEIGHT

19. PERCENTAGE OF PROPERTY TO BE OCCUPIED BY ALL BUILDINGS

34.03 %

20. NUMBER OF FAMILIES/PERSONS TO BE PROVIDED FOR Single family

NOTE: ALL APPLICATIONS MUST INCLUDE:

1. Completed Application Form with Affidavits of Accuracy and Ownership.
2. An accurate Location Survey listing location of all structures with dimension to property lines with proposal sketched onto survey or submitted separately.
3. Copy of letter of denial by Construction Code Official or Zoning Officer, if applicable.

- ALL APPLICATIONS MUST BE FILED NO LESS THAN 30 DAYS PRIOR TO HEARING DATE.
- ALL PROOFS OF SERVICE, PUBLICATION, AND CERTIFICATE OF TAXES PAID MUST BE COMPLETED AND FILED WITH THE CONSTRUCTION CODE OFFICAL NO LESS THAN TEN (10) DAYS PRIOR TO THE HEARING DATE.
- ALL RETURN RECEIPTS MUST BE SUBMITTED PRIOR TO HEARING.

By order of the Board of Adjustment of Bergenfield
**AFFIDAVIT BOARD OF ADJUSTMENT
OF THE
BOROUGH OF BERGENFIELD**

STATE OF NEW JERSEY
COUNTY OF BERGEN
BOROUGH OF BERGENFIELD

SS:

Rick Russell
Name of Applicant

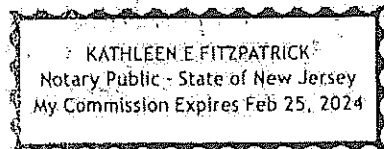
Rick Russell being dully sworn deposes
and says; that he resides at number 39 in the state of
New Jersey, and says that he is the appellant making appeal
for a variation/appeal of the provisions of the Provisions of the Zoning
Ordinance of the of the Borough of Bergenfield in connection with the
property which is the subject matter of this appeal and known as
number 39 designated as Block 27 and Lot 35 on
the Assessment Map of the Borough of Bergenfield. That all statements
made in this application, and statements made in the plans submitted
herewith are true. The applicant further states that he is ready and able
to proceed with the construction if and when the application is granted.

Sworn to me this- 28th
day of January 2027

Kathleen E. Fitzpatrick
Notary Public

[Signature]
Applicant

Note: All partnerships and corporations must supply a list of stockholders with
a 10% or greater share, they must also be represented by an Attorney at the hearing.



AFFIDAVIT OF OWNERSHIP

STATE OF NEW JERSEY,
COUNTY OF BERGEN

SS:

Rick Russell of full age, dully sworn according to the law, deposes and says that he resides at 39 East Central Ave in the Borough of Bergen in the country of USA in the State of New Jersey that he is the owner in fee of real property lying in the Borough of Bergenfield, known and designated as number 39 and the he hereby authorizes _____ to make the within application in his behalf and that the statements in the said application are true.

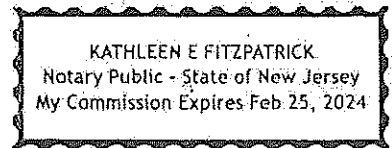
Sworn to before me this 28th

Day of January 20 22

[Signature]
Owner

Kathleen E. Fitzpatrick
Public Notary

Note: all partnership and corporations must supply a list of stockholders with a 10% or greater share, that they must also be represented by an Attorney at the hearing.





TAX COLLECTOR'S CERTIFICATION
PAYMENT OF PROPERTY TAXES

Date _____
Block 27 Lot 35 Address 39 East Central Ave
Owners Name Rick Russell
Owner's Address 39 East Central Ave
Phone Number 512-486-3120 Cell Number None
Application for: Board of Adjustment Planning Board
 Building Department Permit

Description of Work to be performed:
2 story addition to house, remove and replace driveway with previous pavers, reduce size of garage from 2 car to 1.

All applications for the above are required to obtain a certification from the Tax Collector's Office prior to receiving placement on the agenda of any board and / or receiving a permit from the building department for construction or certificate of occupancy. "No Exceptions"

Tax Office Use Only:

Tax Current Yes No Last Quarter Paid On: 1/7/22
(Printout Attached)

Tax Collector/Deputy Tax Collector Certification:

JUAN C ORTIZ 1/24/22
Date:
Certification Number T-8454

BLQ: 27, 35. Tax Year: 2021 to 2022
Owner Name: RUSSELL, RICK J & JOHNSEN, ELENA R Property Location: 39 E CENTRAL AVENUE

Tax Year: 2021	Qtr 1	Qtr 2	Qtr 3	Qtr 4	Total
Original Billed:	2,123.55	2,123.55	2,145.43	2,158.30	8,550.83
Payments:	2,123.55	2,123.55	2,145.43	2,158.30	8,550.83
Balance:	0.00	0.00	0.00	0.00	0.00

Date	Qtr	Type	Code	Check No	Mthd	Reference	Batch Id	Principal	Interest	2021 Prin Balance
								8,550.83		8,550.83
01/08/21	1	Payment	01	00-30316453	CK	18418	18 JCO1	2,123.55	0.00	6,427.28
		Description: Original Billed								
		VISIONS FED CREDIT U								
04/20/21	2	Payment	01		CK	18760	17 JCO1	2,123.55	0.00	4,303.73
		Description: LERETA TAX PAYMENT								
07/19/21	3	Payment	01		CK	19080	17 JCO1	2,145.43	0.00	2,158.30
		Description: LERETA TAX PAYMENT								
10/20/21	4	Payment	01		CK	19446	18 JCO1	2,158.30	0.00	0.00
		Description: LERETA TAX PAYMENT								

Tax Year: 2022	Qtr 1	Qtr 2	Qtr 3	Qtr 4	Total
Original Billed:	2,137.71	2,137.71	0.00	0.00	4,275.42
Payments:	2,137.71	0.00	0.00	0.00	2,137.71
Balance:	0.00	2,137.71	0.00	0.00	2,137.71

Date	Qtr	Type	Code	Check No	Mthd	Reference	Batch Id	Principal	Interest	2022 Prin Balance
								4,275.42		4,275.42
01/07/22	1	Payment	01	00-30385275	CK	19810	11 PL	2,137.71	0.00	2,137.71
		Description: Original Billed								
		VISIONS DEFERED CRED								

Total Principal Balance for Tax Years in Range: 2,137.71



BOROUGH OF BERGENFIELD

198 NORTH WASHINGTON AVENUE
BERGENFIELD, NEW JERSEY 07621

CONSTRUCTION CODE DEPT.
(201) 387-4055 EXT. 1-4092
FAX: (201) 385-7376

November 17, 2021

Rick and Elena Russell
39 East Central Ave
Bergenfield, NJ 07621

RE: Addition

Dear Mr and Mrs. Russell,

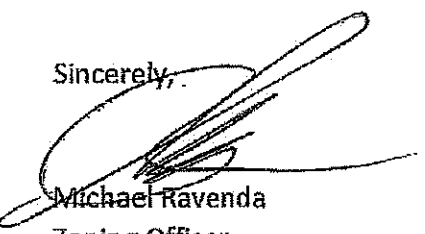
Your application for the addition at 39 East Central Ave has been denied for the following reason:

- As per new survey, Proposed Improved Lot Coverage is 45.369%.
Required Improved Lot Coverage is 40%. Pre-existing non-conforming lot- Need to seek variance from Zoning Board.

You have the right to appeal my decision to the Zoning Board. You may also contact the Building Department to obtain the proper applications.

If you have any question on the above matter, please contact our office. You can call the Building Department at 201-387-4055 Ext. 4

Sincerely,


Michael Ravenda
Zoning Officer

tbz

REAR ADDITION & ALTERATIONS TO THE RUSSELL HOUSE

Issued for Zoning Board Approval
12-13-21
39 East Central Avenue
Bergenfield, New Jersey 07621

LEGEND:

- NEW FOUNDATION WALL CONSTRUCTION:
12" TH. CONC. W/ HORIZ. REIN. EVERY OTHER COURSE AND 4" REBAR # 4'-0" O.C. ON 2' WIDE x 12" TH. CONT. CONCRETE FOOTING
- NEW EXTERIOR WALL CONSTRUCTION:
NEW SIDING (STYLE BY OWNER) ON MOISTURE BARRIER ON 1/2" TH. EXTERIOR GRADE BREATHING ON 2x4 WOOD STUDS # 16" O.C. WITH R-21 SUPER BATT INSULATION + 1/2" THICK INTERIOR GYP/DM BOARD
- NEW INTERIOR WALL CONSTRUCTION:
1/2" TH. GYP/DM BLD. EACH SIDE ON 2x4 WOOD STUDS # 16" O.C. W/ 3" BOUND BATT INSULATION AS SPECIFIED IN GENERAL NOTES

STRUCTURAL LOADINGS (UNLESS OTHERWISE NOTED)	
LOADING:	FLOORS 40 PSF LL - 10 PSF DL
	ROOF 20 PSF LL - 10 PSF DL
	STAIRS 100 PSF LL - 10 PSF DL
	DECKS 60 PSF LL - 10 PSF DL
SOIL BEARING CAPACITY:	3000 PSF (ASSUMED) FOUNDINGS TO BEAR ON UNDISTURBED SOIL.
WALLS:	3000 PSF (WALLS & FOOTINGS) PROTECT AT ALL TIMES FROM WEATHER.
REINFORCING STEEL:	2# MINIMUM CIRCULAR CONFORM TO ASTM SPEC. A-615 GRADE 40 UNBUNDLED BARS
FRAMING JOISTS:	JOISTS TO BE IN ACCORDANCE WITH WFLA STANDARD GRADING RULES
CEILING:	CEILING/HEADERS TO BE DOUBLE FRAMING # 2 OR BETTER - 3x4
CLUB-LAM BEAMS:	ATC SPEC 24-F-14 FD - 2400 PSF

EXISTING CONDITION PHOTOS:



FRONT VIEW OF HOUSE FROM EAST CENTRAL AVE.



REAR (NORTH) VIEW OF HOUSE



SIDE (WEST) VIEW OF HOUSE



SIDE (EAST) VIEW OF HOUSE

FIREBLOCKING NOTES:

NJICC REHAB SUBCODE 6.06 WHEN THE WORK BEING PERFORMED CREATES OR EXPOSES WOOD FRAMING OF ANY WALL, FLOOR, CEILING, OR ROOF, FIREBLOCKING SHALL BE PROVIDED AS REQUIRED BY SECTION R302.11.1 OF THE ONE- AND TWO-FAMILY DWELLING SUBCODE, AS APPLICABLE. THE FIREBLOCKING MATERIAL SHALL COMPLY WITH SECTION R302.11.1 OF THE ONE- AND TWO-FAMILY DWELLING SUBCODE, AS APPLICABLE.

2018 INTERNATIONAL RESIDENTIAL CODE - NJ EDITION - R302.11 FIREBLOCKING:
IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.

FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:

- IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
1.1. VERTICALLY AT THE CEILING AND FLOOR LEVELS.
1.2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET (3048 MM).
- AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING, AND COVE CEILING.
- IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.
- AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E 136 REQUIREMENTS.
- FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE SECTION R1003.19.
- FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING UNIT SEPARATION.

ENERGY CONSERVATION NOTES:

THE FOLLOWING INFORMATION AND REQUIREMENTS ARE BASED ON THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE - NEW JERSEY EDITION AND NJICC - BULLETIN NO. 1-8:

A. THIS RESIDENTIAL REAR ADDITION IS REQUIRED TO COMPLY WITH THE UNIFORM CONSTRUCTION CODE OF NEW JERSEY AND ENERGY SUBCODE REFERENCING INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2018 A RESIDENCE COMPLIANCE CERTIFICATE AND REPORT INDICATING COMPLIANCE BY TOTAL, OR ALTERNATIVE PER SECTION 401A IS PROVIDED BY THE ARCHITECT (SEPARATELY) FOR SUBMISSION BY THE CONTRACTOR FOR PERMITS APPROVAL.

B. VISUAL INSPECTION VERIFICATION OF INSULATION & SEALING (BUILDING THERMAL TIGHTNESS) SHALL BE PERFORMED RESPECTIVE INSPECTION LIST PERFORMED BY LOCAL BUILDING INSPECTOR OR AS PERMITTED BY STATE PER SECTION 401A, THE RESPECTIVE CERTIFICATE SHALL BE FILED FOR POSTING ON OR IN THE ELECTRICAL DISTRIBUTION BOX.

C. THIS PROJECT IS LOCATED IN "ZONE 5" AND THE NEWLY CONSTRUCTED BUILDING AREA SHALL CONFORM TO THE FOLLOWING CRITERIA:

- R-30 OR R-45 CEILING
- U-0.31 WINDOWS & DOORS
- R-01 WALLS
- R-30 FLOORS (OVER DRIFT SPACES)
- R-10 FOUNDATIONS

Air-Sealing Notes:

- 501 plate gaskets to be EPDM structural gaskets by Conservation Technologies, B049 for 2x6 sill, B0 63 for 2x4 sill, B061 for six joists. Gaskets are to be applied to the underside of the sill plate prior to insulation.
- Driftail gaskets to be BEGG EPDM gaskets by Conservation Technologies. Driftail gaskets are to be applied to the top and bottom plates of the wall prior to driftail insulation.
- If specified, floor/ceiling wall insulation is to be detailed as follows:
• The insulation batts are to be full paper faced and glued to fill the entire cavity continuously from stud to stud.
• The vapor barrier is to face the same side (interior) of the wall assembly and is to be stapled to the face of the studs.
• The kraft paper fire retardant stud bags is to be overlapped at the studs and continuously taped at the studs, top and all plates.
• The batt insulation is to be cut and fit around pipes, conduits, wires, and electrical device boxes. Compression of the insulation around these and other items is unacceptable.
- Walls behind bedrooms or shower enclosures are to be insulated, sealed and receive (1) layer of moisture resistant gypsum board prior to the installation of the tub or shower enclosure.
- All joints between exterior sheathing panels are to be taped and sealed with 3M 0061 All Weather Flanking Tape.
- The perimeter of all windows and doors are to be taped and sealed with 3M 0061 All Weather Flanking Tape, or in accordance with manufacturers' installation recommendations. The gaps between the rough opening and the installed window or door is to be filled with expanding spray foam insulation.
- All joints between single layer expanded polystyrene (EPS) insulation board are to be taped and sealed with 3M 0061 All Weather Flanking Tape.
- Multiple layers of EPS board are to be staggered.
- All pipes, wires and conduits, penetrations through exterior wall are to be sealed with batts taped, sealed or an EPDM pipe boot.
- All non water piping is to receive minimum R-3 pipe insulation.
- The perimeter of all electrical device boxes and recessed light fixtures is to be caulked and sealed to the adjacent driftail.
- All non recessed light fixtures are to be IC rated and can exempt contact with insulation.
- Conceal are to be filled to eliminate inaccessible areas. Should an inaccessible corner exist, holes are to be drilled at 18" o.c. vertical and spray foam insulation is to fill the corner gap.

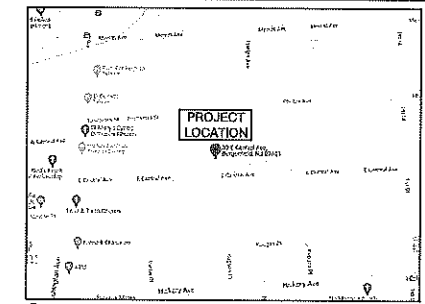
DRAWING LIST:

- T-1 GENERAL NOTES, SPECIFICATIONS & CODE ANALYSIS
- T-2 EXISTING SURVEY, PROPOSED SITE DIAGRAM, ZONING DATA
- EX-1 EXISTING CONDITIONS FLOOR PLANS
- A-1 CONSTRUCTION BASEMENT & FIRST FLOOR PLANS
- A-2 CONSTRUCTION SECOND FLOOR & ROOF PLANS
- A-3a EXTERIOR ELEVATIONS
- A-3b EXTERIOR ELEVATIONS
- A-4 GARAGE PLANS & ELEVATIONS

BUILDING CODE DATA:

Project: Addition & Alterations to a Single Family Residence	Location: 39 East Central Avenue Bergenfield, NJ 07621	Use Group: R3 Residential	Construction Classification: bb	Building Statistics:
All new construction to meet current:				EXISTING LIVING AREA: 530 SF
- NJ Uniform Construction Code				BASEMENT 16-00 SF
- International Residential Code 2018 - NJ Edition				FIRST FLOOR 16-00 SF
- NJ Energy Conservation Code 2018 - NJ Edition				SECOND FLOOR 512 SF
- 2018 National Standard Plumbing Code				PROPOSED LIVING AREA:
- 2018 International Mechanical Code				BASEMENT 234 SF
- 2018 International Fuel Gas Code				FIRST FLOOR 336 SF
- 2017 National Electric Code				SECOND FLOOR 282 SF
				NET VOLUME OF NEW ADDITION: 11,316 CF
				N.J.A.C. 523-6 Rehabilitation Subcode State of New Jersey Department of Community Affairs, Division of Codes and Standards
				Revised Subcode Chapter 11 of ISC 2018 & NJAC 523-1.1001 AFU-3009

LOCATION MAP: N.T.S.



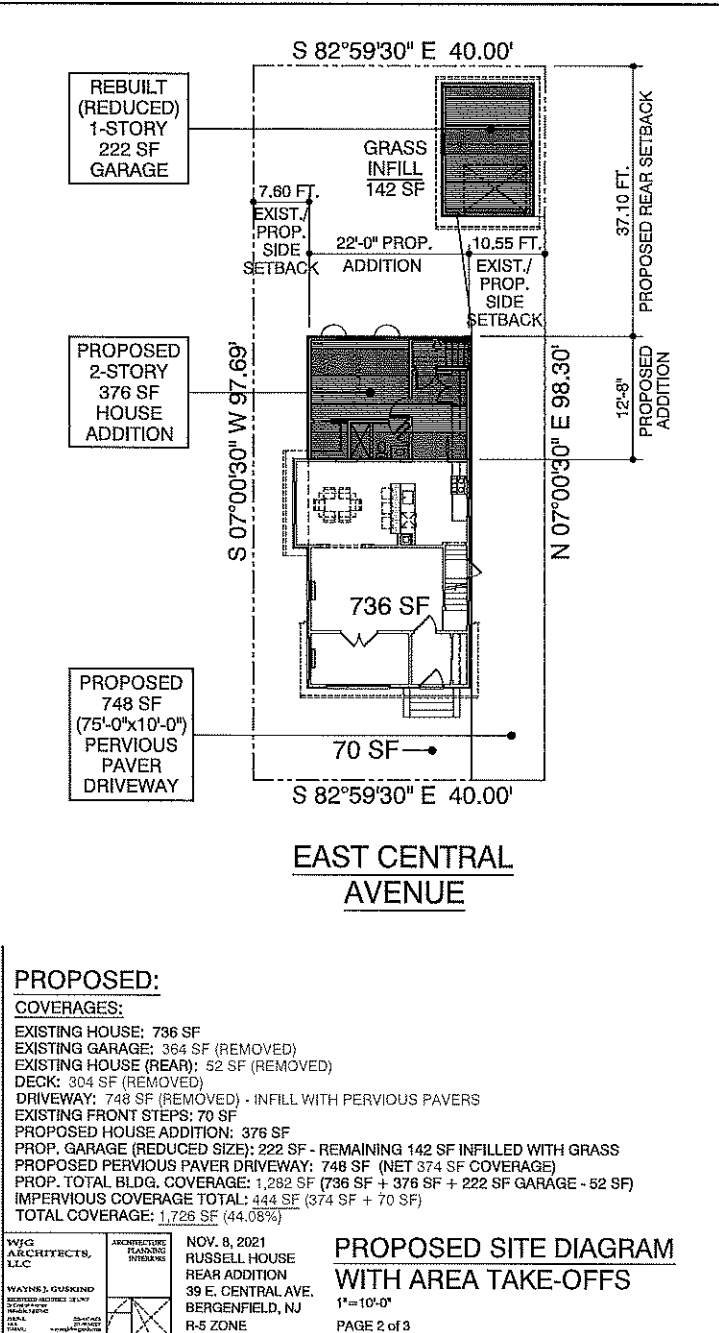
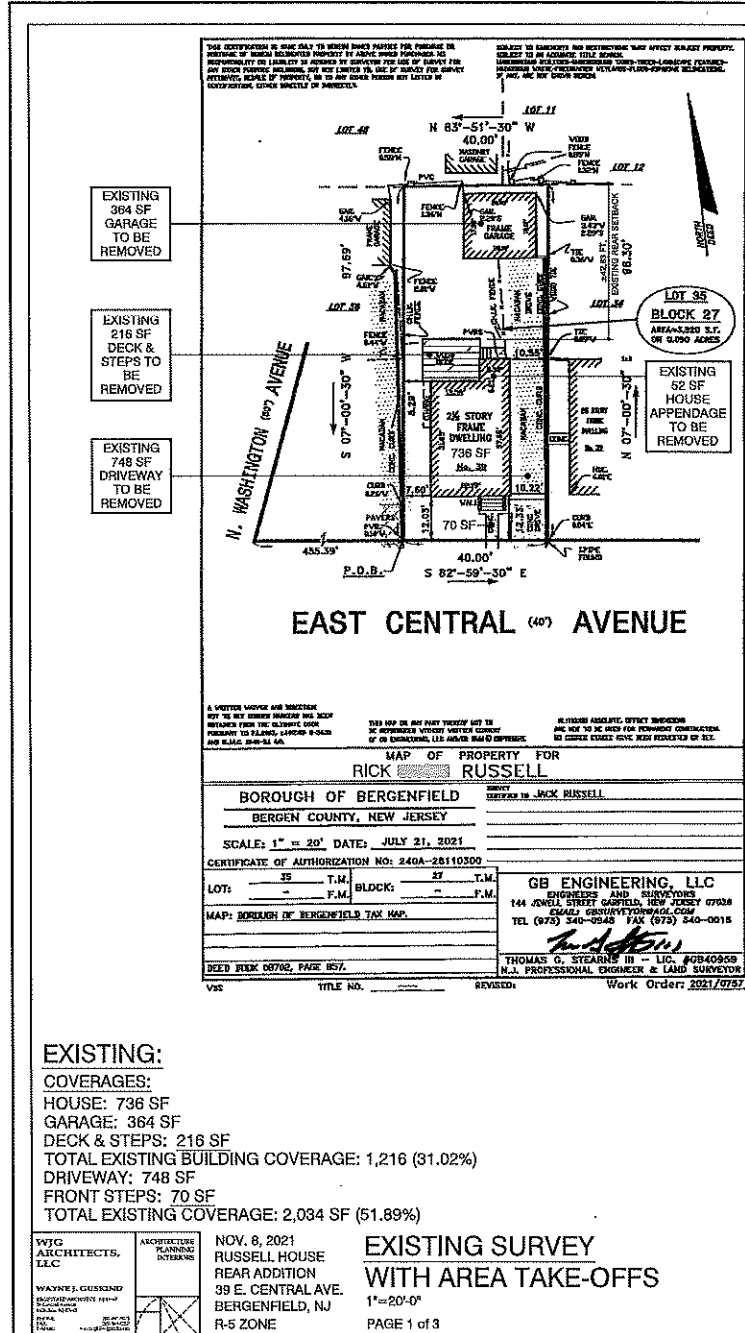
REAR ADDITION & ALTERATIONS TO THE RUSSELL HOUSE

39 EAST CENTRAL AVENUE
BERGENFIELD, NEW JERSEY

DRAWING TITLE:
GENERAL NOTES,
SPECIFICATIONS
& CODE ANALYSIS

DATE:
DEC. 13, 2021
SCALE:
AS NOTED
DRAWN:
W.J.G.
CHECKED:
W.J.G. DATE: _____ SIGNED: _____
DRAWING NUMBER:

**T-1
ZONING**



LAND DEVELOPMENT
 Borough of Bergenfield
 Schedule D
 Zoning Ordinance
 (Amended 7-17-97 by Ord. No. 1134; 12-15-99 by Ord. No. 2030; 12-19-2005 by Ord. No. 65-2565; 4-2-2016 by Ord. No. 46-1274)

Year Built	Lot Area (Square Feet)	Lot Width (Feet)	Impervious Coverage (%)	Impervious Coverage (Square Feet)	Height (Feet)	Front Yard (Feet)	Side Yard (Feet)	Rear Yard (Feet)
1-2 Residential	10,000	100	20%	2,000	30'	20'	20'	20'
3-4 Residential	4,000	60	30%	1,200	30'	20'	20'	20'
5-6 Residential	10,000	100	35%	3,500	30'	20'	20'	20'
7-8 Residential	10,000	100	40%	4,000	30'	20'	20'	20'
9-10 Residential	10,000	100	45%	4,500	30'	20'	20'	20'
11-12 Residential	10,000	100	50%	5,000	30'	20'	20'	20'
13-14 Residential	10,000	100	55%	5,500	30'	20'	20'	20'
15-16 Residential	10,000	100	60%	6,000	30'	20'	20'	20'
17-18 Residential	10,000	100	65%	6,500	30'	20'	20'	20'
19-20 Residential	10,000	100	70%	7,000	30'	20'	20'	20'
21-22 Residential	10,000	100	75%	7,500	30'	20'	20'	20'
23-24 Residential	10,000	100	80%	8,000	30'	20'	20'	20'
25-26 Residential	10,000	100	85%	8,500	30'	20'	20'	20'
27-28 Residential	10,000	100	90%	9,000	30'	20'	20'	20'
29-30 Residential	10,000	100	95%	9,500	30'	20'	20'	20'
31-32 Residential	10,000	100	100%	10,000	30'	20'	20'	20'
33-34 Residential	10,000	100	100%	10,000	30'	20'	20'	20'
35-36 Residential	10,000	100	100%	10,000	30'	20'	20'	20'
37-38 Residential	10,000	100	100%	10,000	30'	20'	20'	20'
39-40 Residential	10,000	100	100%	10,000	30'	20'	20'	20'
41-42 Residential	10,000	100	100%	10,000	30'	20'	20'	20'
43-44 Residential	10,000	100	100%	10,000	30'	20'	20'	20'
45-46 Residential	10,000	100	100%	10,000	30'	20'	20'	20'
47-48 Residential	10,000	100	100%	10,000	30'	20'	20'	20'
49-50 Residential	10,000	100	100%	10,000	30'	20'	20'	20'
51-52 Residential	10,000	100	100%	10,000	30'	20'	20'	20'
53-54 Residential	10,000	100	100%	10,000	30'	20'	20'	20'
55-56 Residential	10,000	100	100%	10,000	30'	20'	20'	20'
57-58 Residential	10,000	100	100%	10,000	30'	20'	20'	20'
59-60 Residential	10,000	100	100%	10,000	30'	20'	20'	20'
61-62 Residential	10,000	100	100%	10,000	30'	20'	20'	20'
63-64 Residential	10,000	100	100%	10,000	30'	20'	20'	20'
65-66 Residential	10,000	100	100%	10,000	30'	20'	20'	20'
67-68 Residential	10,000	100	100%	10,000	30'	20'	20'	20'
69-70 Residential	10,000	100	100%	10,000	30'	20'	20'	20'
71-72 Residential	10,000	100	100%	10,000	30'	20'	20'	20'
73-74 Residential	10,000	100	100%	10,000	30'	20'	20'	20'
75-76 Residential	10,000	100	100%	10,000	30'	20'	20'	20'
77-78 Residential	10,000	100	100%	10,000	30'	20'	20'	20'
79-80 Residential	10,000	100	100%	10,000	30'	20'	20'	20'
81-82 Residential	10,000	100	100%	10,000	30'	20'	20'	20'
83-84 Residential	10,000	100	100%	10,000	30'	20'	20'	20'
85-86 Residential	10,000	100	100%	10,000	30'	20'	20'	20'
87-88 Residential	10,000	100	100%	10,000	30'	20'	20'	20'
89-90 Residential	10,000	100	100%	10,000	30'	20'	20'	20'
91-92 Residential	10,000	100	100%	10,000	30'	20'	20'	20'
93-94 Residential	10,000	100	100%	10,000	30'	20'	20'	20'
95-96 Residential	10,000	100	100%	10,000	30'	20'	20'	20'
97-98 Residential	10,000	100	100%	10,000	30'	20'	20'	20'
99-100 Residential	10,000	100	100%	10,000	30'	20'	20'	20'

ZONING DATA / ANALYSIS
 NOV. 8, 2021
 RUSSELL HOUSE
 REAR ADDITION
 39 E. CENTRAL AVE.
 BERGENFIELD, NJ
 R-5 ZONE
 PAGE 3 of 3

EDDED FOR ZONING BOARD APPROVAL: 12/13/21

NO: _____ REVISION: _____ DATE: _____

WJG ARCHITECTS, LLC
 ARCHITECTURE PLANNING INTERIORS

WAYNE J. GUSKIND
 REGISTERED ARCHITECT NJ 20047
 24 Central Avenue
 100-066 NJ 07043
 PHONE: 908-487-8875
 FAX: 908-487-8876
 E-MAIL: wayne@wjgarch.com

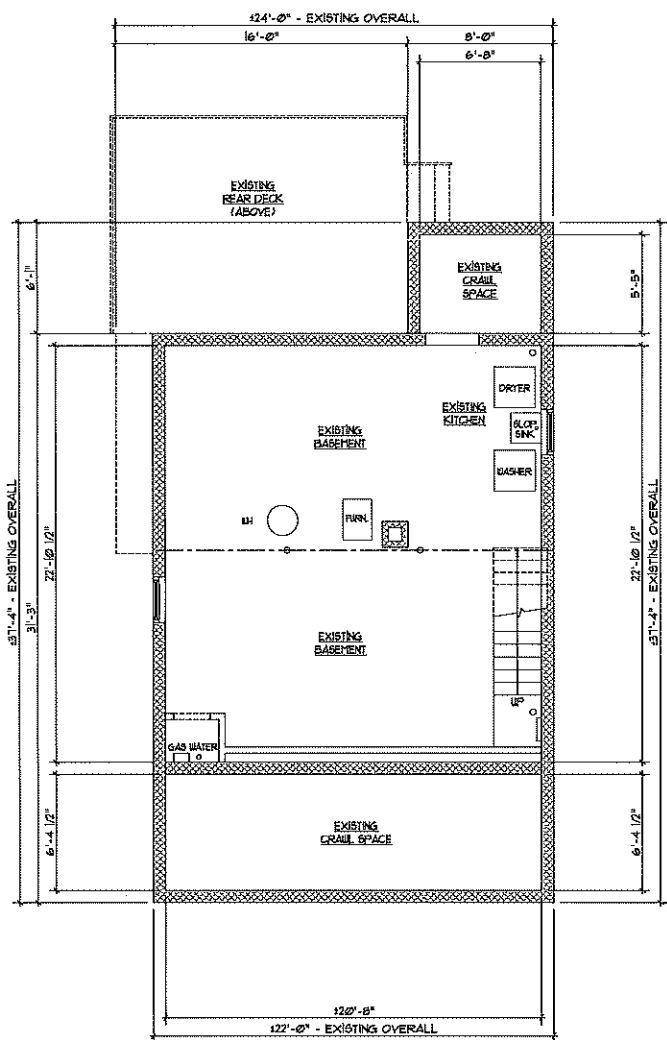
REAR ADDITION & ALTERATIONS TO THE RUSSELL HOUSE

39 EAST CENTRAL AVENUE
 BERGENFIELD, NEW JERSEY

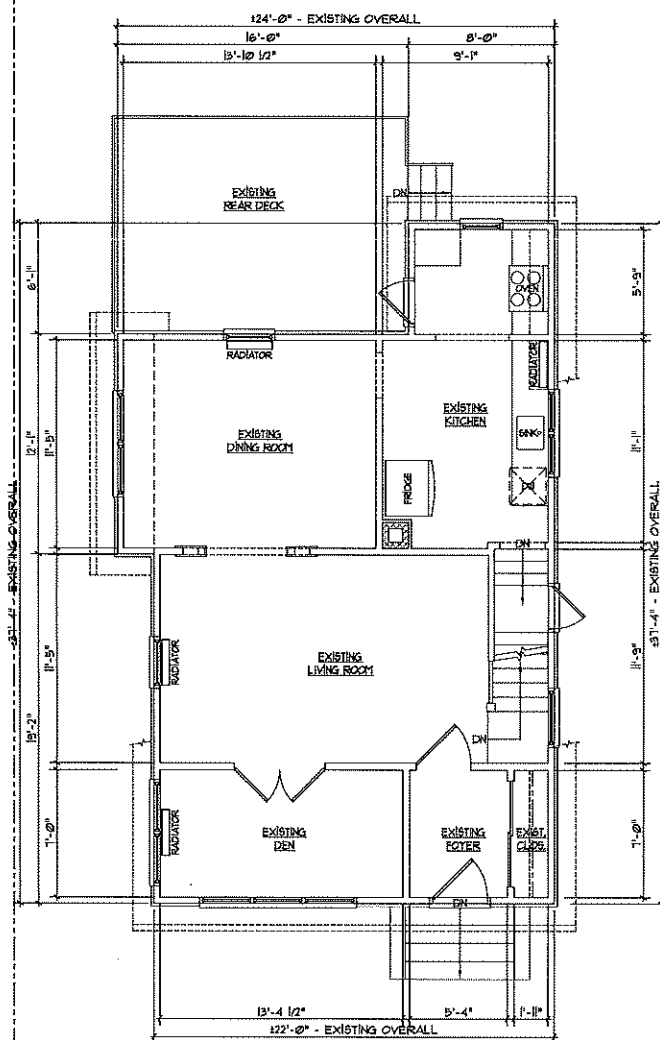
DRAWING TITLE:
EXISTING SURVEY, PROPOSED SITE DIAGRAM ZONING DATA

DATE: DEC. 13, 2021
 SCALE: AS NOTED
 DRAWN: W.J.C.
 CHECKED: W.J.C. DATE: _____ SIGNED: _____

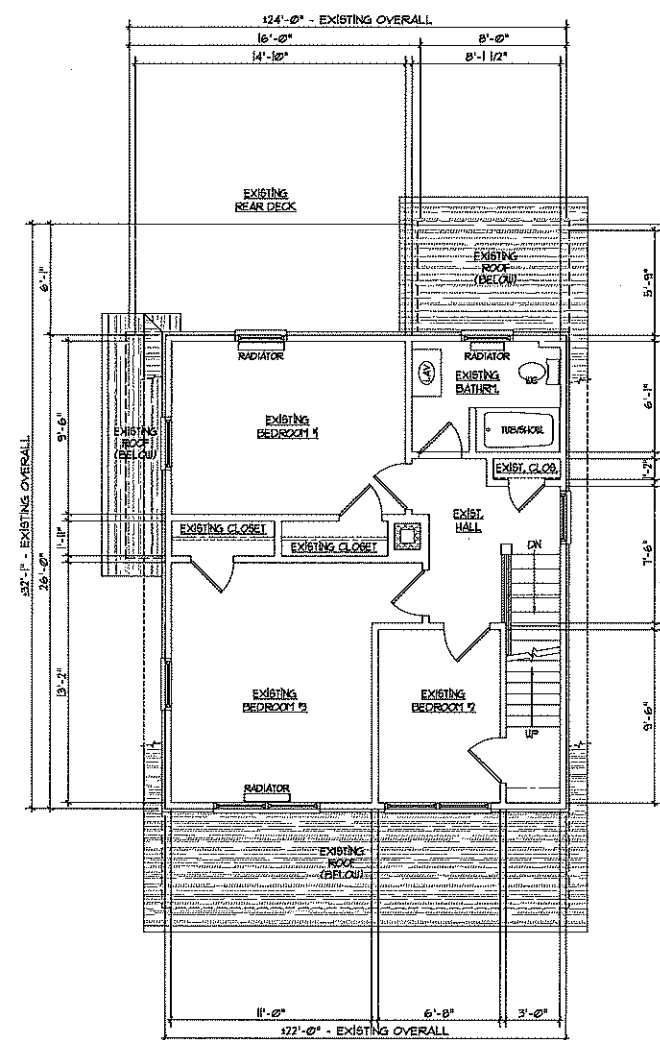
DRAWING NUMBER:
T-2 ZONING



B EXIST. CONDITIONS
BASEMENT PLAN
1/4" = 1'-0"



1 EXIST. CONDITIONS
FIRST FLOOR PLAN
1/4" = 1'-0"



2 EXIST. CONDITIONS
SECOND FLOOR PLAN
1/4" = 1'-0"

LEGEND:
 ———— EXISTING CONSTRUCTION TO REMAIN
 - - - - - EXISTING CONSTRUCTION TO BE REMOVED
 (U) EXISTING DOOR TO REMAIN
 (X) EXISTING DOOR TO BE REMOVED

ISSUED FOR ZONING BOARD APPROVAL: 12/13/21
 NO. REVISION: DATE:

WJG ARCHITECTS, LLC
 ARCHITECTURE PLANNING INTERIORS
 WAYNE J. GUSKIND
 ARCHITECTED ARCHITECT NJ 0204
 30 Central Avenue
 BERGENFIELD, NJ 07642
 PHONE: 201-661-8887
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 EMAIL: wjg@wjgarchitect.com

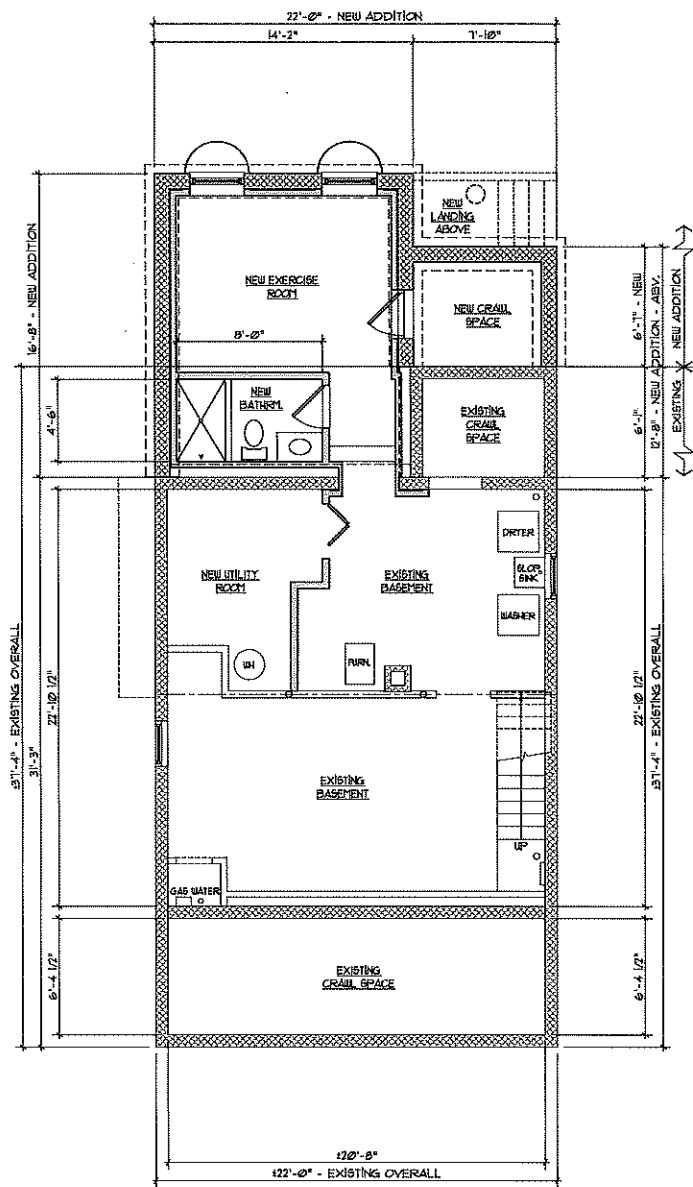
REAR ADDITION & ALTERATIONS TO THE RUSSELL HOUSE
 39 EAST CENTRAL AVENUE
 BERGENFIELD, NEW JERSEY

DRAWING TITLE:
EXISTING CONDITIONS FLOOR PLANS

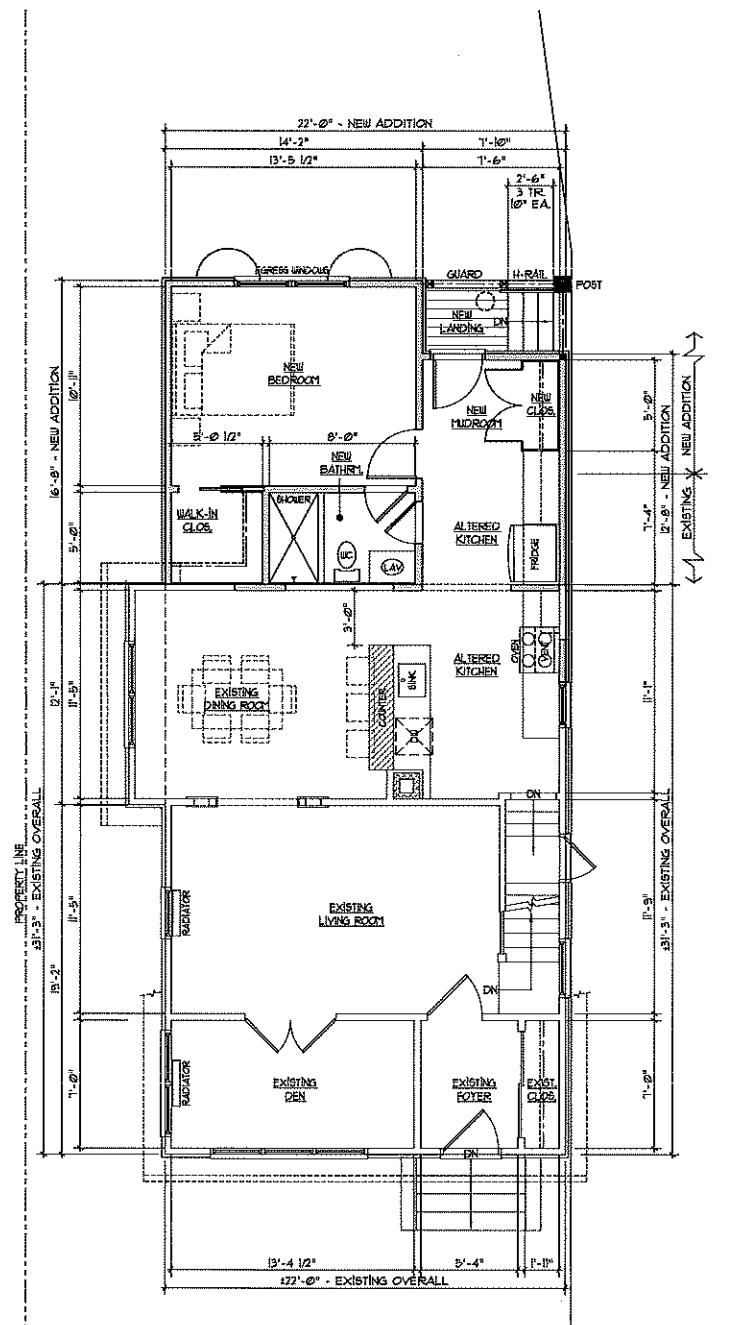
DATE: DEC. 13, 2021
 SCALE: AS NOTED
 DRAWN: W.J.G.
 CHECKED: W.J.G. DATE: _____ SIGNED: _____

DRAWING NUMBER:
EX-1 ZONING

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B CONSTRUCTION BASEMENT PLAN
1/4" = 1'-0"



1 CONSTRUCTION FIRST FLOOR PLAN
1/4" = 1'-0"

LEGEND:
 --- EXISTING CONSTRUCTION TO REMAIN
 --- NEW CONSTRUCTION

- NOTES:**
- SEE SYMBOLS AND LEGENDS ON SHEET T-1 FOR WALL CONSTRUCTION INFORMATION.
 - ALL NEW WINDOWS AND EXTERIOR DOORS SHALL BE ANDERSEN 'ARCHITECTURAL SERIES' (OR EQUIVALENT) WITH INSULATED GLAZING. ALL WINDOWS SHALL HAVE ARGON-FILLED LOW-E INSULATING GLASS. CONTRACTOR TO PROVIDE WINDOW SHOP DRAWINGS AND SPECS FOR APPROVAL BY ARCHITECT AND OWNER PRIOR TO FABRICATION.
 - ALL FINAL FINISHES SHALL BE SELECTED BY OWNER (APPROVED BY ARCHITECT).
 - ALL LINTELS OVER EXTERIOR WALL OPENINGS UNLESS OTHERWISE NOTED SHALL BE (1) 2x8.
 - IF REQUIRED, GUARDRAILS SHALL BE MIN. 36" HEIGHT WITH MAXIMUM 3.5" CLEAR SPACE BETWEEN BALUSTERS.
 - IF VULNERIZED LINER IS TO BE USED CONTRACTOR SHALL USE GALV. HOT DIPPED, OR TRIPLE D.C. FASTENERS THRU OUT. TYP. FOR ANY EYELET IN CONTACT WITH LINER.
 - DOOR HEIGHTS SHALL MATCH THE EXISTING HOUSE STANDARD. DOOR LOCATIONS SHALL BE 3" OFF NEAREST CORNER OR CENTERED WITHIN ROCKET UGN.
 - ALL STRUCTURAL POSTS WITH SHALL MATCH WIDTH OF STRUCTURAL (BEAM) MEMBER ABOVE.
 - ALL EXISTING 'EXPOSED' EXTERIOR WALLS IN AREAS OF WORK SHALL BE FILLED CONTINUOUSLY WITH R-10 BATT INSULATION OR HIGHER.
 - ALL WALLS AND CEILING (SURFACE PLANE) WITHIN ROOMS AFFECTED BY THE NEW CONSTRUCTION SHALL BE REPAIRED. SEE OWNER + ARCHITECT AS TO TYPE OF PAINT AND COLOR.
 - ALL CLOSETS SHALL RECEIVE CONTINUOUS SHELVES AND RODS - SEE OWNER AS TO RAIL EXTENT.
 - ALL LINED CLOSETS SHALL RECEIVE MULTIPLE SHELVES - MIN. 4 SHELVES - SEE OWNER AS TO RAIL EXTENT.
 - IF REQUIRED, THE CONTRACTOR SHALL NELL ALL FLOOR OPENINGS DUE TO THE REMOVAL OF THE RADIATORS, FUSES OR OTHER UTILITIES WITH FLOOR FRAMING TO MATCH EXISTING.
 - SEE OWNER AS TO NEW STORAGE ROOM SHELVING REQUIREMENTS.
 - INSULATE HOT / CHILLED PIPES WITH P/WRM R-3 WRAP PROTECTION.
 - SEE SEPARATE 'RECHECK' ENERGY COMPLIANCE DOCUMENT FOR ADDITIONAL MECHANICAL WORK REQUIREMENTS.

... FOR ZONING BOARD APPROVAL 12/13/21
 NO: REVISION: DATE:

WJG ARCHITECTS, LLC	ARCHITECTURE PLANNING INTERIORS
WAYNE J. GUSKIND REGISTERED ARCHITECT NJ 1997 30 Central Avenue Horseshoe, NJ 07412 PHONE: 908-467-8873 FAX: 908-467-8873 E-MAIL: wjg@wjgarchitect.com	

REAR ADDITION & ALTERATIONS TO THE RUSSELL HOUSE

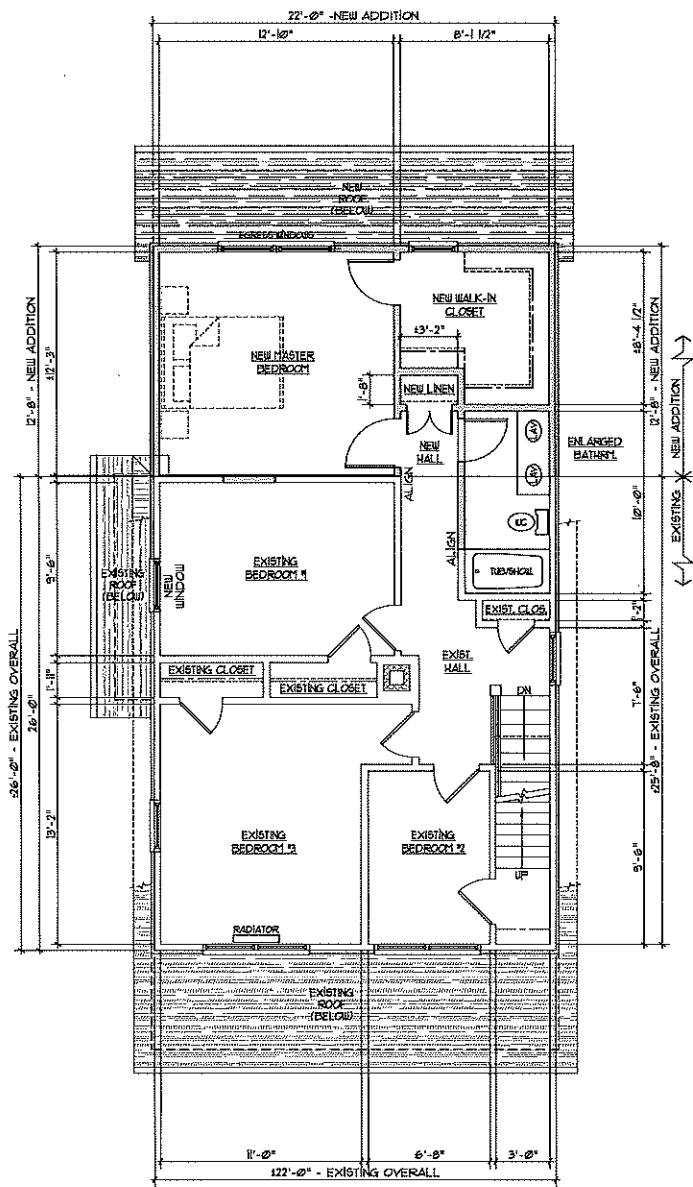
30 EAST CENTRAL AVENUE
BERGENFIELD, NEW JERSEY

CONSTRUCTION BASEMENT & FIRST FLOOR PLANS

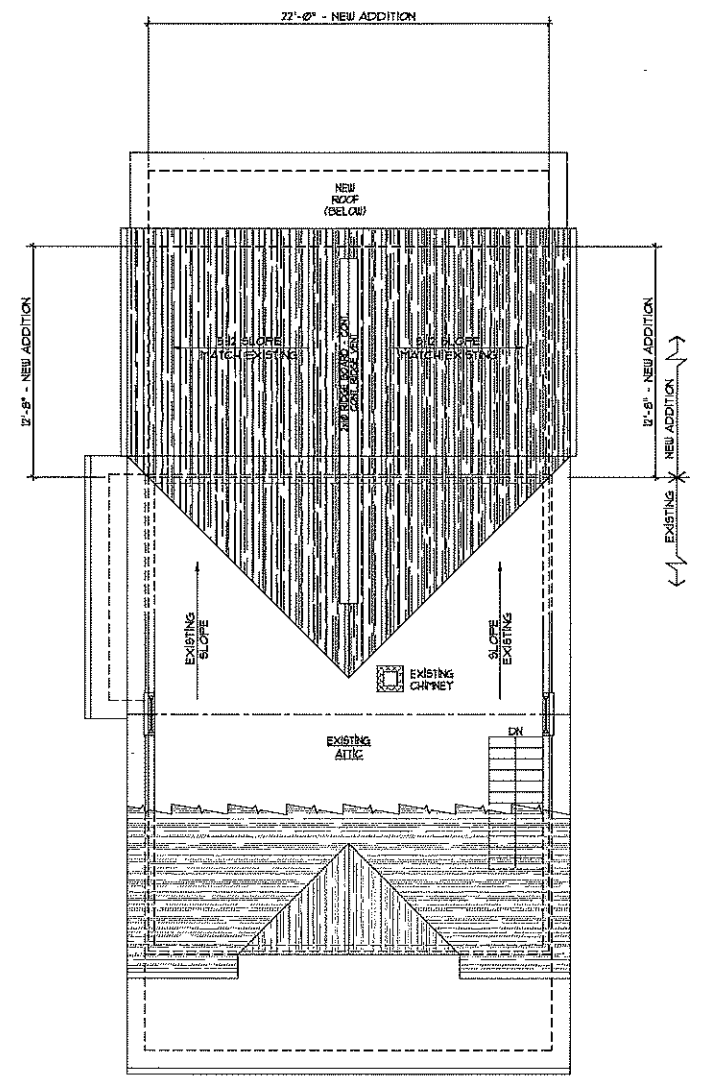
DATE: DEC. 13, 2021
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 CHECKED: W.J.G. DATE: SIGNED:
 DRAWING NUMBER:

A-1 ZONING

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2 CONSTRUCTION SECOND FLOOR PLAN
 1/4" = 1'-0" NORTH



3 CONSTRUCTION ROOF PLAN
 1/4" = 1'-0" NORTH

LEGEND:
 --- EXISTING CONSTRUCTION TO REMAIN
 --- NEW CONSTRUCTION

ISSUED FOR ZONING BOARD APPROVAL: 12/13/21
 NO: REVISION: DATE:

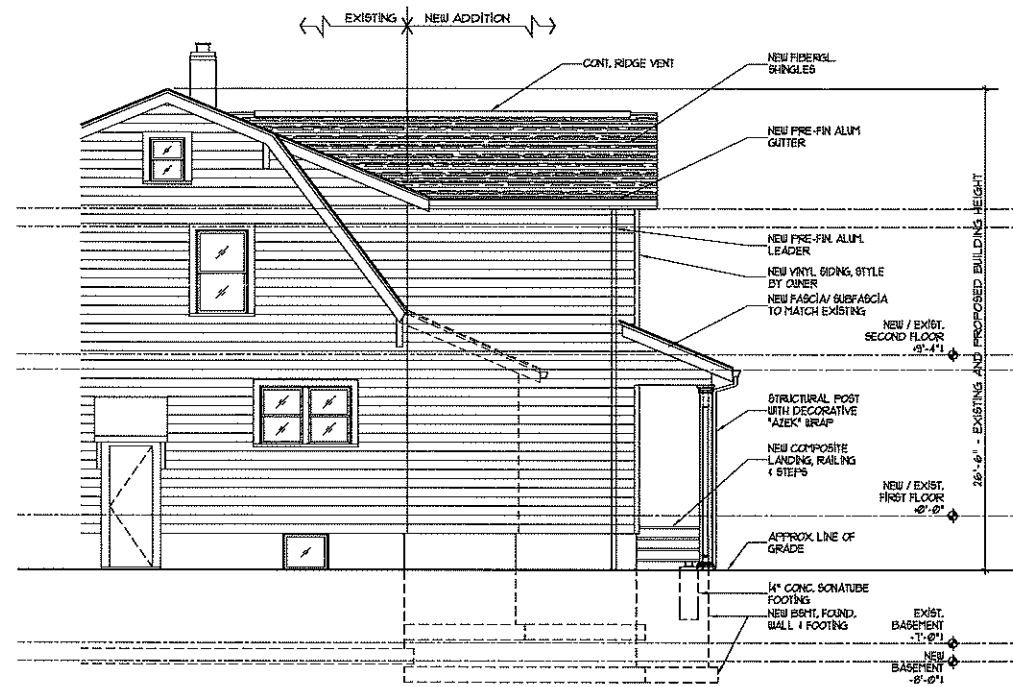
WJG ARCHITECTS, LLC ARCHITECTURE PLANNING INTERIORS
 WAYNE J. GUSKIND REGISTERED ARCHITECT NO. 10567
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REAR ADDITION & ALTERATIONS TO THE RUSSELL HOUSE
 39 EAST CENTRAL AVENUE BERGENFIELD, NEW JERSEY

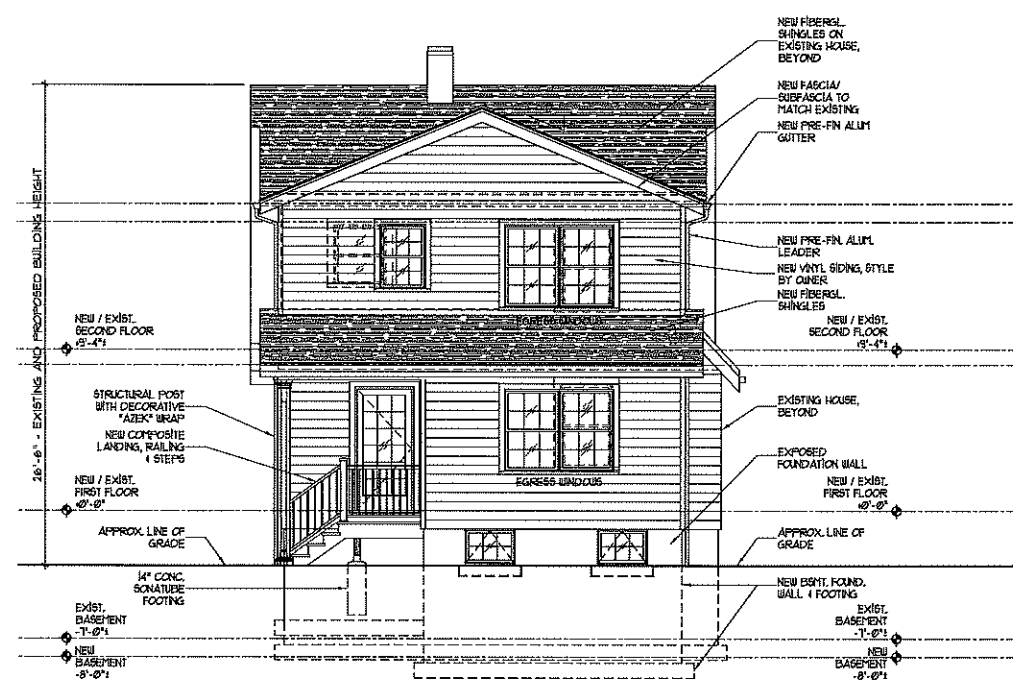
DRAWING TITLE:
 CONSTRUCTION SECOND FLOOR & ROOF PLANS

DATE: DEC. 13, 2021
 SCALE: AS NOTED
 DRAWN: W.J.G.
 CHECKED: W.J.G. DATE: _____ SIGNED: _____
 DRAWING NUMBER:

A-2 ZONING



1 RIGHT SIDE ELEVATION (EAST)
1/4" = 1'-0"



2 REAR ELEVATION (NORTH)
1/4" = 1'-0"

- NOTES:**
1. SEE OWNER FOR NEW EXTERIOR SIDING SPECIFICATIONS AND FOR EXTENT OF RE-SIDING OF EXISTING HOUSE.
 2. ALL GUTTERS AND LEADERS SHALL BE PRE-FINISHED ALUMINUM (MATCH EXISTING) - SEE ROOF PLAN FOR LOCATIONS OF DOWNSPOUTS. PROPERLY FLASH ALL GUTTERS TO THE ROOF.
 3. ALL LANDSCAPING - IF INDICATED - FOR VISUAL PURPOSES ONLY - ALL LANDSCAPING BY OWNER.
 4. IF NO UNDERGROUND STORM DRAINAGE SYSTEM, ALL DOWNSPOUTS SHALL HAVE NEW CONCRETE FLASHBLOCKS.
 5. FOR ROOF SLOPE LESS THAN 4:12 UNDERLAYMENT SHALL BE MINIMUM TWO LAYERS AND FOLLOW GUIDELINES OF TABLE R0905.1 (2) OF THE INTERNATIONAL RESIDENTIAL CODE 2018 (N) EDITION.

ISSUED FOR ZONING BOARD APPROVAL 12/13/21

NO: REVISION: DATE:

WJG ARCHITECTS, LLC ARCHITECTURE PLANNING INTERIORS

WAYNE J. GUSKIND
REGISTERED ARCHITECT NJ 10942
24 Central Avenue
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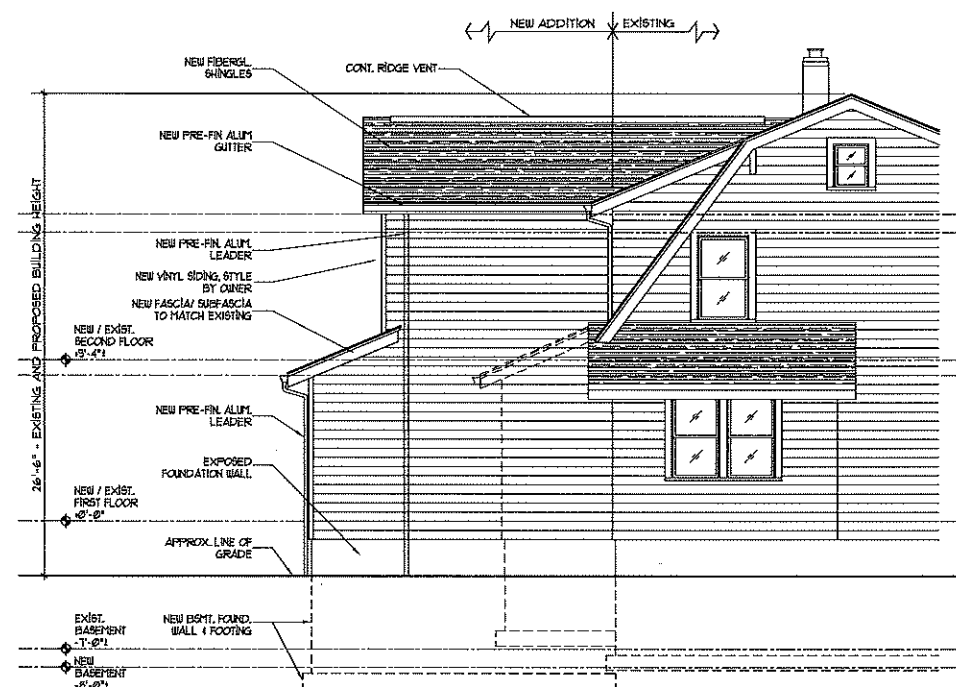
REAR ADDITION & ALTERATIONS TO THE RUSSELL HOUSE

39 EAST CENTRAL AVENUE
BERGENFIELD, NEW JERSEY

DRAWING TITLE:
EXTERIOR ELEVATIONS

DATE: DEC. 13, 2021
SCALE: AS NOTED
DRAWN: W.J.G.
CHECKED: W.J.G. DATE: _____ SIGNED: _____

DRAWING NUMBER:
A-3a ZONING



① LEFT SIDE ELEVATION (WEST)
1/4" = 1'-0"

ISSUED FOR ZONING BOARD APPROVAL 12/13/21
NO: REVISION: DATE:

WJG ARCHITECTS, LLC WAYNE J. GUSKIND REGISTERED ARCHITECT IN NEW JERSEY 39 EAST CENTRAL AVENUE BERGENFIELD, NJ 07622 PHONE: 201-887-8877 FAX: 201-887-8877 E-MAIL: wayne@wjgarchitects.com	ARCHITECTURE PLANNING INTERIORS

REAR ADDITION & ALTERATIONS TO THE RUSSELL HOUSE

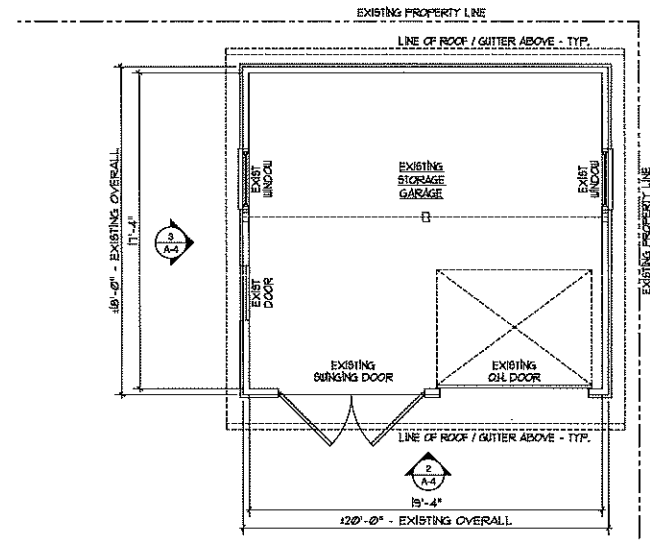
39 EAST CENTRAL AVENUE
BERGENFIELD, NEW JERSEY

DRAWING TITLE:
EXTERIOR ELEVATIONS

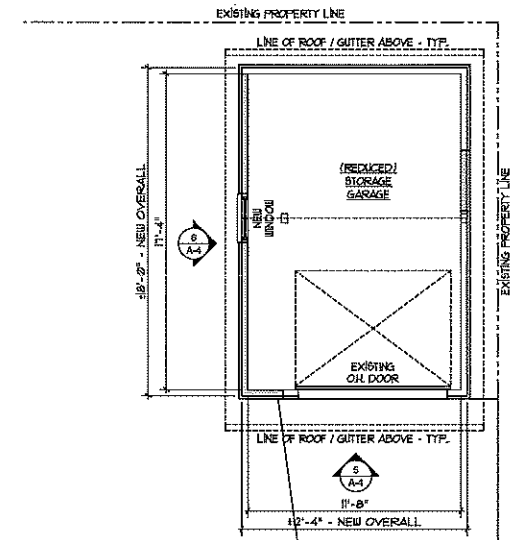
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A-3b ZONING

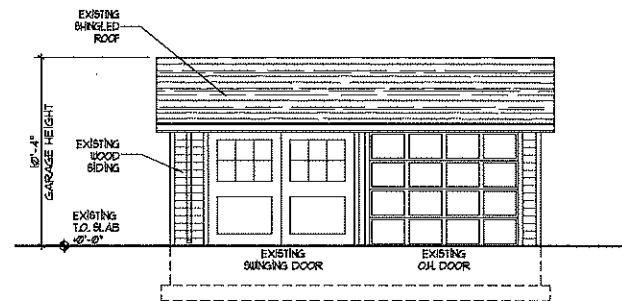
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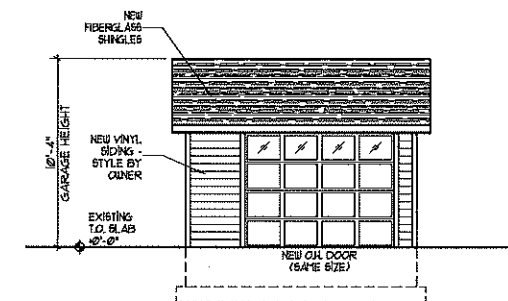
1 EXIST. CONDITIONS GARAGE PLAN
1/4" = 1'-0"



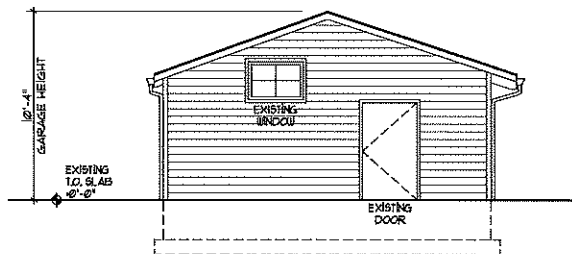
4 CONSTRUCTION GARAGE PLAN
1/4" = 1'-0"



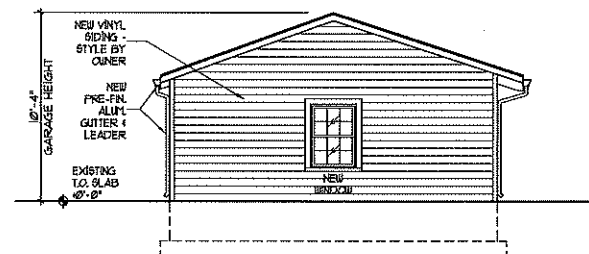
2 EXIST. CONDITIONS FRONT ELEVATION
1/4" = 1'-0"
NOTE: OPPOSITE SIDE SIMILAR - NO DOORS.



5 CONSTRUCTION FRONT ELEVATION
1/4" = 1'-0"
NOTE: OPPOSITE SIDE SIMILAR - NO DOORS.



3 EXIST. CONDITIONS LEFT SIDE ELEV.
1/4" = 1'-0"
NOTE: OPPOSITE SIDE SIMILAR - NO DOORS.



6 CONSTRUCTION LEFT SIDE ELEV.
1/4" = 1'-0"
NOTE: OPPOSITE SIDE SIMILAR - NO WINDOWS.

LEGEND:
 ——— EXISTING CONSTRUCTION TO REMAIN
 ——— NEW CONSTRUCTION

GARAGE NOTES:
 1. THE EXISTING GARAGE IS MAINLY USED FOR STORAGE - NOT INTENDED FOR VEHICULAR USE.
 2. THE EXISTING GARAGE SHALL BE REDUCED IN WIDTH TO 11'-4" AS INDICATED.
 3. ONE NEW OIL GARAGE DOOR SHALL BE PROVIDED - SAME SIZE AND LOCATION AS THE EXISTING OIL GARAGE DOOR.
 4. THE EXISTING GARAGE STRUCTURE (ROOF & WALLS) SHALL BE REPAIRS TO 12'-4" IN WIDTH. THE GARAGE HEIGHT SHALL REMAIN THE SAME.
 5. NEW SIDING, ROOFING, GUTTERS, LEADERS AND WINDOWS SHALL BE PROVIDED.

DESIGNED FOR ZONING BOARD APPROVAL: 12/13/21
 NO: REVISION: DATE:

WJG ARCHITECTS, LLC
 ARCHITECTURE PLANNING INTERIORS
 WAYNE J. GUSKIND
 REGISTERED ARCHITECT NO. 18887
 24 Central Avenue
 119-066-19762
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REAR ADDITION & ALTERATIONS TO THE RUSSELL HOUSE
 39 EAST CENTRAL AVENUE
 BERGENFIELD, NEW JERSEY

DRAWING TITLE:
GARAGE PLANS & ELEVATIONS

DATE: DEC. 13, 2021
 SCALE: AS NOTED
 DRAWN: W.J.G.
 CHECKED: W.J.G. DATE: _____ SIGNED: _____
 DRAWING NUMBER:

A-4 ZONING

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