

**ZONING NOTES**

ZONE B-2  
PROPOSED DRIVE-THRU CONDITIONAL AS PER 186-69 \*

REQUIREMENT	EXISTING	PROVIDED
MIN. LOT AREA	10,000 S.F.	15,972 S.F.
MIN. LOT WIDTH:		
S. WASHINGTON AVE.	100 FT.	160.00 FT.
MAGNOLIA STREET	100 FT.	100.00 FT.
MIN. FRONT YARD:		
S. WASHINGTON AVE.	15 FT.	19.40 FT.
MAGNOLIA STREET	15 FT.	9.80 FT. (1)
MIN. REAR YARD	25 FT.	32.50 FT.
MIN. SIDE YARD (ONE)	15 FT.	88.25 FT. (2)
MIN. SIDE YARD (BOTH)	30 FT.	N/A
MAX. BLDG. HEIGHT	40 FT./3 STY.	18.44 FT./1 STY.
MAX. IMPROVED COVERAGE	70%	89.77% (1)
MAX. LOT COVERAGE (BLDG.)	35%	18.88%
MIN. PARKING SPACES	16 SPACES	22 SPACES
MIN. PARKING STALL SIZE	9'x18'	9'x18'
186-44 MIN. BUFFER WIDTH	6 FT.	0 FT. (1)
186-69 MIN. FRONTAGE WITH DRIVE-THRU	200 FT.	152.5 FT./92.5 FT. *

\* VARIANCE REQUIRED  
(1) EXISTING NON-CONFORMING CONDITION.  
(2) TO CANOPY.

**PARKING NOTES**

RESTAURANT: 1 SPACE PER EVERY THREE SEATS; 18/3 = 5.33 SPACES  
 RETAIL: 4 SPACES PER EVERY 1,000 S.F.; 2,517/250 = 10.07 SPACES  
 TOTAL SPACES REQUIRED = 15.40 SPACES  
 SAY = 16 SPACES

REQUIREMENT	EXISTING	PROVIDED
MAX. DRIVEWAY WIDTH	25 FT.	24.00 FT. (1)
MAX. 40% FRONTAGE		40.0 FT.
MIN. SIDE YARD SETBACK DRIVE	2.0 FT.	2.0 FT.

- GENERAL NOTES**
- TOTAL LOT AREA = 15,972 S.F. (0.367 Ac.)
  - ALL ELEVATIONS BASED ON NAVD 88.
  - CONTRACTOR TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
  - THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 12 UNITS HORIZONTAL (1:12) FOR A MINIMUM DISTANCE OF 8' MEASURED PERPENDICULAR TO THE FACE OF THE WALL. THE PROCEDURE UTILIZED TO ESTABLISH THE FINAL GROUND LEVEL ADJACENT TO THE FOUNDATION SHALL ACCORD WITH ALL ADDITIONAL SETTLEMENT OF THE BACKFILL.
  - EXISTING IMPERVIOUS COVERAGE = 14,338 S.F.  
PROPOSED IMPERVIOUS COVERAGE = 12,800 S.F.  
TOTAL DECREASE = -1,538 S.F.
  - OWNER OF RECORD: KNOWLES STILLMAN REALTY LLC  
22 N. BAYARD LANE  
MAHWAH, NJ 07430
  - SEE THIS DRAWING FOR COUNTY NOTES.
  - BRICK PAVEMENT AND BUSINESS IDENTIFICATION SIGN LOCATED WITHIN THE COUNTY ROADWAY EASEMENT TO BE REMOVED FROM SAME AT THE PROPERTY OWNERS EXPENSE IF AND WHEN IMPROVEMENTS TO SOUTH WASHINGTON AVENUE ARE REALIZED AND OR WHEN DIRECTED BY THE COUNTY.

I CONSENT TO THE FILING OF THIS SITE PLAN.

OWNER: \_\_\_\_\_ DATE: \_\_\_\_\_  
 APPLICANT: \_\_\_\_\_ DATE: \_\_\_\_\_

SITE PLAN OF PROPOSED DRIVE-THRU LOT 17 BLOCK 253 ZONE: B-2 DATE: 6-27-21 SCALE: 1"=20'  
 APPLICANT: TRIPLE J. FAMILY, INC. D/B/A DUNKIN' BASKIN ROBBINS 275 S. WASHINGTON AVENUE BERGENFIELD, NJ 07621

I HEREBY CERTIFY THAT I HAVE PREPARED THIS SITE PLAN AND THAT ALL DIMENSIONS AND OTHER INFORMATION SET FORTH ARE CORRECT.

N.J.P.E. No. 29497  
 TITLE AND LICENSE NUMBER

APPROVED BY THE BOARD OF ADJUSTMENT OF THE BOROUGH OF BERGENFIELD

By: CHAIRMAN DATE: \_\_\_\_\_  
 SECRETARY DATE: \_\_\_\_\_

I HAVE REVIEWED THIS SITE PLAN AND CERTIFY THAT IT MEETS ALL ORDINANCES AND REGULATIONS UNDER MY JURISDICTION.

BOROUGH ENGINEER DATE: \_\_\_\_\_  
 CONSTRUCTION OFFICIAL DATE: \_\_\_\_\_

I HEREBY CERTIFY THAT ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR THAT A PERFORMANCE GUARANTEE HAS BEEN POSTED IN ACCORDANCE WITH THE SITE PLAN ORDINANCE.

BOROUGH ENGINEER DATE: \_\_\_\_\_  
 CONSTRUCTION OFFICIAL DATE: \_\_\_\_\_

I HEREBY CERTIFY THAT ALL THE REQUIRED IMPROVEMENTS OF THIS SITE PLAN HAVE BEEN INSTALLED IN COMPLIANCE WITH ALL APPLICABLE ORDINANCES AND REGULATIONS.

BOROUGH ENGINEER DATE: \_\_\_\_\_  
 CONSTRUCTION OFFICIAL DATE: \_\_\_\_\_

OCCUPANCY PERMIT ISSUED DATE: \_\_\_\_\_

IT IS HEREBY CERTIFIED THAT TAX PAYMENTS ARE CURRENT.

TAX COLLECTOR DATE: \_\_\_\_\_

THIS IS TO CERTIFY THE COMPLETENESS OF THE ABOVE REFERENCED DEVELOPMENT APPLICATION.

BOROUGH ENGINEER DATE: \_\_\_\_\_

APPROVED BY THE COUNTY PLANNING BOARD COUNTY OF BERGEN, NEW JERSEY

ATTESTED TO BY DATE: \_\_\_\_\_

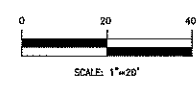
- DRAWING INDEX**
- 3947-1 SITE PLAN
  - 3947-2 GRADING, DRAINAGE & UTILITY PLAN
  - 3947-3 SOIL EROSION & SEDIMENT CONTROL PLAN; DETAILS
  - 3947-3a DETAILS
  - 3947-4 LIGHTING & LANDSCAPING PLAN
  - 3947-5 EXISTING CONDITIONS PLAN
  - 3947-6 SIGNAGE PLAN & DETAILS
- REFERENCES**
- VBOC 2962, PG 928.
  - A CERTAIN MAP ENTITLED "PROPERTY OF F.M. SANDBERG, BERGENFIELD GARDENS, SECTION No. 1" FILED IN THE BCCO AS MAP 1999, BEING LOTS 1-4 IN BLOCK 324-C ON SAID MAP.
  - A CERTAIN MAP ENTITLED "MAP OF TRACT No. 1, PET-VAN REALTY CORP., 22 BROAD AVE., MORSEMERE" FILED IN THE BCCO AS MAP No. 2057, BEING LOTS 29-31 IN BLOCK 324-C ON SAID MAP.
  - BOROUGH OF BERGENFIELD TAX MAPS.

- GENERAL NOTES (CONTINUED)**
- APPLICANT AND/OR CONTRACTOR SHALL CONTACT THE INSPECTOR OF THE BERGEN COUNTY ENGINEERING DIVISION AT (201)336-9815 TO ARRANGE FOR INSPECTION OF THE ITEMS OF CONSTRUCTION LISTED IN SECTION D. BELOW, PRIOR TO BEGINNING CONSTRUCTION AND WHEN CONSTRUCTION IS COMPLETE. THE COUNTY INSPECTOR HAS THE RIGHT TO REQUIRE MODIFICATIONS TO CONSTRUCTION BEYOND THE SCOPE OF THE PERFORMANCE BOND TO ENSURE COUNTY ENGINEERING SPECS ARE COMPLIED WITH AND AS NECESSITATED BY FIELD CONDITIONS.
  - ALL SIDEWALKS WITHIN THE COUNTY RIGHT-OF-WAY/ROAD WIDENING EASEMENT SHALL HAVE A PARALLEL CROSS-SLOPE OF TWO (2%) PERCENT AND SHALL BE A MINIMUM OF FOUR (4) FEET IN WIDTH.
  - ALL PAVEMENT MARKINGS/STRIPING RELATED TO TRAFFIC CONTROL SHALL BE OF A REFLECTIVE HOT-EXTENDED THERMOPLASTIC MATERIAL, MINIMUM 90 MIL THICKNESS, APPLIED IN ACCORDANCE WITH BERGEN COUNTY DESIGN STANDARDS AND THE MANUFACTURER'S SPECIFICATIONS FOR APPLICATION.
  - ALL TRAFFIC SIGNS MUST CONFORM IN FACE DESIGN AND CONSTRUCTION TO SPECIFICATIONS FOUND IN THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, U.S. DOT, FEDERAL HIGHWAY ADMINISTRATION, SPECIFICALLY, REGULATORY AND WARNING SIGNS SHALL BE FABRICATED OF FLAT ALUMINUM SHEETS AND SHALL BE COVERED WITH ASTM D885 TYPE 1-4 SILVER HIGH EFFICIENCY FULL CURB RETRO-REFLECTIVE SHEETING.
  - A. THE TOP ONE (1) FOOT OF ALL COUNTY MAINTAINED PRECAST INLETS AND MANHOLES ARE TO BE GIVEN A FACTORY COATING OF AN EPOXY SEALER ON BOTH THE INSIDE AND OUTSIDE FACE OF THE STRUCTURE. THE EPOXY SEALER SHALL BE EPICRYLUM UPL BY MATERIAL SUPPLIED BY THE ECKLI D CHEMICAL COMPANY OR EQUAL AS PER THE NJDOT 2007 STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SUBSECTION S12.02.02.
  - ALL TRAFFIC CONTROL SIGNS INSTALLED BY THE APPLICANT SHALL BE MAINTAINED BY THE PROPERTY OWNER AND NOT THE COUNTY.
  - THE APPLICANT/PROPERTY OWNER SHALL BE RESPONSIBLE TO MAINTAIN REQUIRED SIGHT LINES ALONG THE SUBJECT PROPERTY FRONTAGE, FOR AN EXISTING VEHICLE FROM MAGNOLIA STREET OR THE SITE'S DRIVEWAY OVER SOUTH WASHINGTON AVENUE. THIS INCLUDES THE REMOVAL OF ANY IDENTIFIED OBSTRUCTIONS (E.G. TREES, LIMES, BRANCHES, ORNAMENTAL WALLS AND GROUND BRUSH) WITHIN THE COUNTY RIGHT-OF-WAY 1' COUNTY EASEMENT AREA.

EXISTING LOT COVERAGE CALC'S (BLDG.)		PROPOSED LOT COVERAGE CALC'S (BLDG.)	
EXIST. FOOTPRINT	= 2,517 S.F.	EXIST. FOOTPRINT	= 2,517 S.F.
EXIST. OVERHANG	= 422 S.F.	EXIST. OVERHANG	= 422 S.F.
EXIST. AWNING	= 39 S.F.	PROP. CANOPIES	= 115 S.F.
<b>TOTAL BUILDING COVERAGE</b>	<b>= 2,978 S.F./15,972 S.F. = 18.65%</b>	<b>TOTAL BUILDING COVERAGE</b>	<b>= 3,054 S.F./15,972 S.F. = 19.12%</b>

EXISTING IMPROVED LOT COVERAGE CALC'S		PROPOSED IMPROVED LOT COVERAGE CALC'S	
BUILDING COV.	= 2,978 S.F.	BUILDING COV.	= 3,054 S.F.
PARKING LOT	= 10,470 S.F.	PARKING LOT	= 9,486 S.F.
WALKS, STEPS & CONC.	= 899 S.F.	WALKS	= 280 S.F.
<b>TOTAL IMPROVED COVERAGE</b>	<b>= 14,338 S.F./15,972 S.F. = 89.77%</b>	<b>TOTAL IMPROVED COVERAGE</b>	<b>= 12,800 S.F./15,972 S.F. = 80.14%</b>



ROBERT J. MUELLER  
 PROFESSIONAL LAND SURVEYOR  
 N.J.P.E. No. 37206

MICHAEL J. HUBSCHMAN P.E., P.P.  
 PROFESSIONAL ENGINEER AND PLANNER  
 N.J.P.E. No. 29497

6-27-21  
 6-27-21

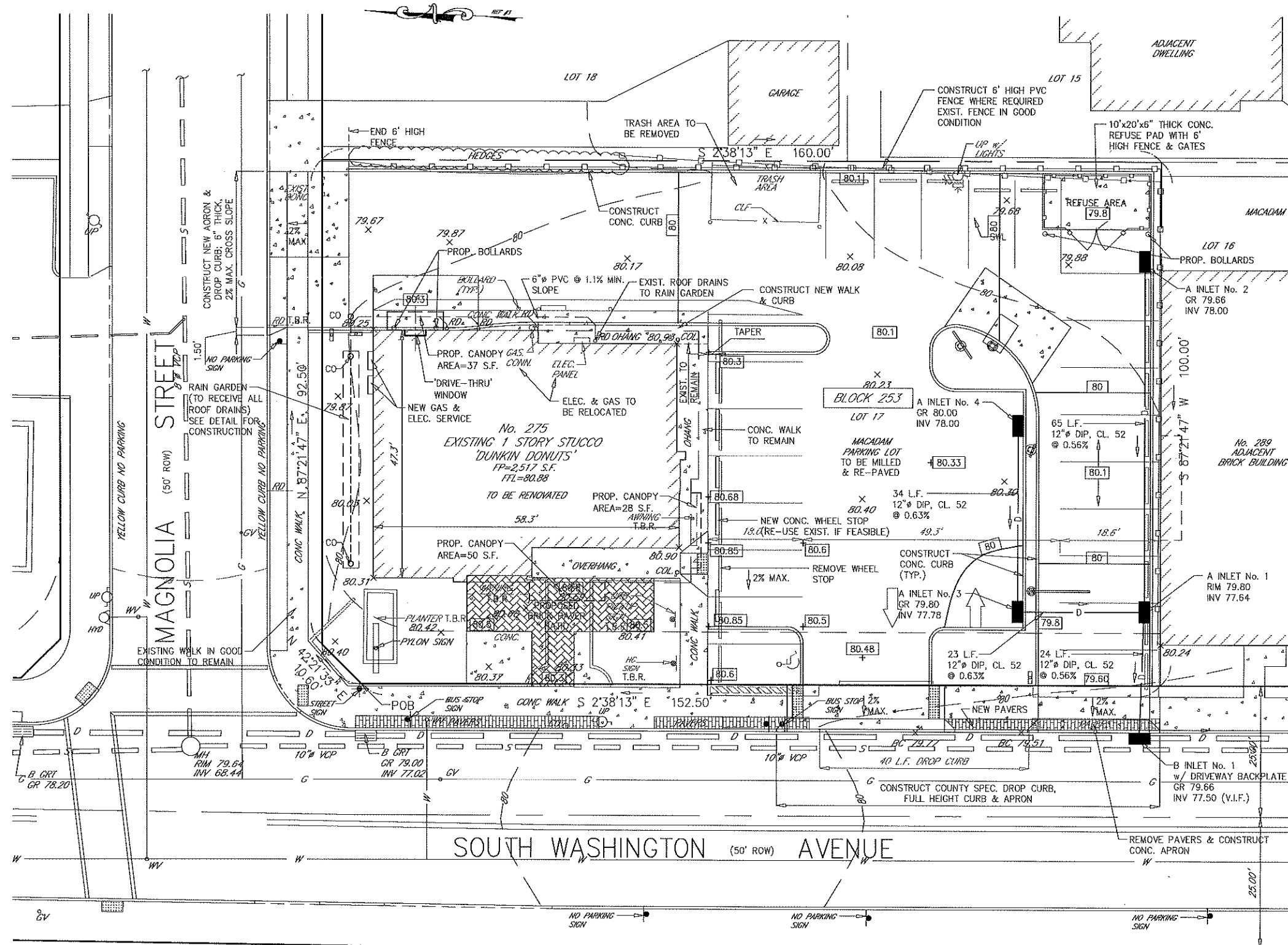
**SITE PLAN**

LOT 17 'DUNKIN' DONUTS' PROPOSED DRIVE-THRU BLOCK 253  
 No. 275 S. WASHINGTON AVENUE  
 BOROUGH OF BERGENFIELD BERGEN COUNTY NEW JERSEY  
 APPLICANT: TRIPLE J. FAMILY, INC. D/B/A DUNKIN' BASKIN ROBBINS  
 275 S. WASHINGTON AVENUE  
 BERGENFIELD, NJ 07621

NO.	REVISIONS	DATE	BY	CHECK
2	PENNONI LETTER DATED 12-10-21	3-14-22	B.W.	M.J.H.
1	BERGEN COUNTY PLANNING LETTER DATED: 8-9-21	8-30-21	R.M.	M.J.H.
001				

DRAWN BY: B.W.  
 CHECK BY: M.J.H.  
 SCALE: 1"=20'  
 DRAWING NO. 3947-1  
 ENGINEERS - PLANNERS - SURVEYORS  
 2634 S. WASHINGTON AVE., BERGENFIELD, NJ 07621  
 201-384-8666

1 OF 7



SOUTH WASHINGTON (50' ROW) AVENUE

BLOCK 251

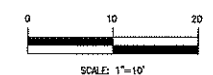
LOT 2

LOT 1

APPROVED BY THE  
COUNTY PLANNING BOARD  
COUNTY OF BERGEN, NEW JERSEY

ATTESTED TO BY \_\_\_\_\_ DATE \_\_\_\_\_

MICHAEL J. HUBSCHMAN P.E., P.P.  
PROFESSIONAL ENGINEER AND PLANNER  
N.J.P.E. NO. 28497 N.J.P.P. NO. 3200

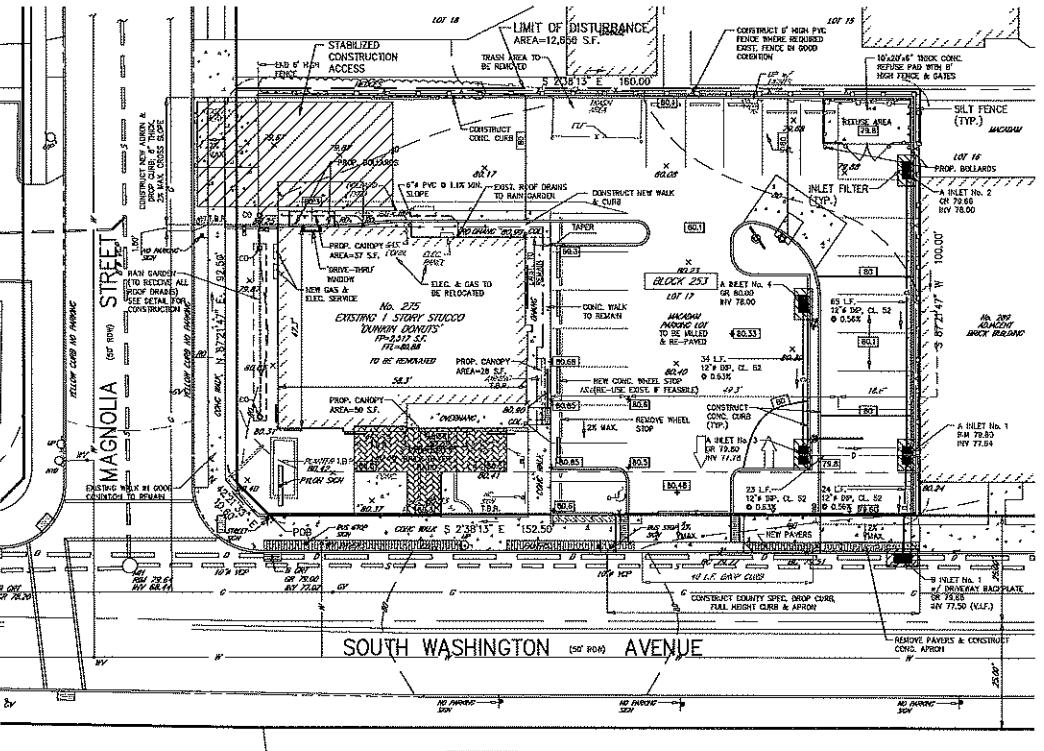


2.	PENNON LETTER DATED 12-10-21	3-14-22	B.N.	M.J.H.
1.	BERGEN COUNTY PLANNING LETTER DATED: 8-9-21	8-30-21	N.H.	M.J.H.
NO.	REV(S)IONS	DATE	BY	CHKD
<b>GRADING, DRAINAGE &amp; UTILITY PLAN</b>				
LOT 17 'DUNKIN DONUTS' PROPOSED DRIVE-THRU BLOCK 253 No. 275 S. WASHINGTON AVENUE				
BOROUGH OF BERGENFIELD BERGEN COUNTY NEW JERSEY				
APPLICANT: TRIPLE J. FAMILY, INC. D/B/A DUNKIN' BASKIN ROBBINS 275 S. WASHINGTON AVENUE BERGENFIELD, NJ 07621				
			DRAWN BY:	B.W.
			CHKD BY:	M.H.
			SCALE:	1"=10'
			DRAWING NO.	3947-2
			REV.	2
			2 OF 7	

**HUBSCHMAN ENGINEERING, P.A.**  
ENGINEERS - PLANNERS - SURVEYORS  
263A S. WASHINGTON AVE. BERGENFIELD, NJ 07621  
201-384-5666

6-27-21  
DATE

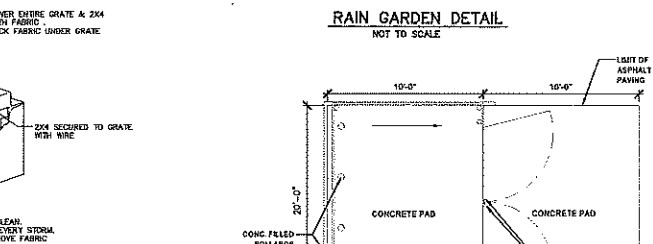
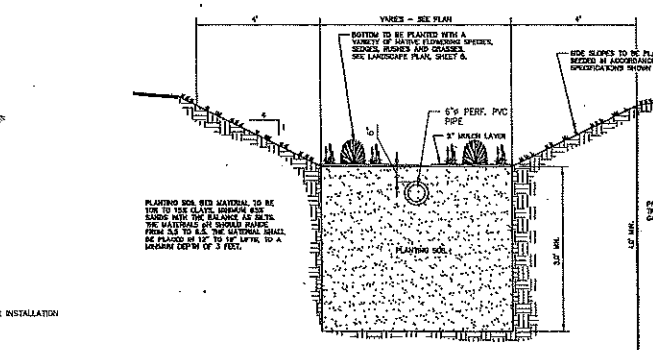
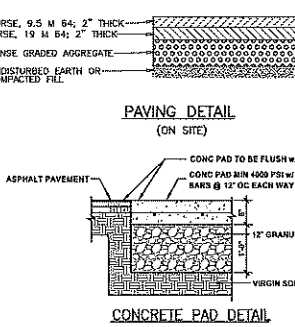
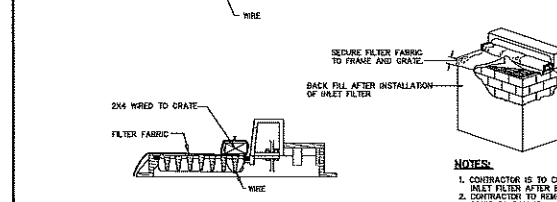
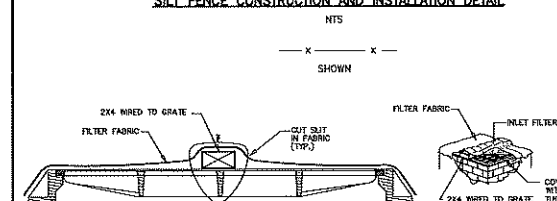
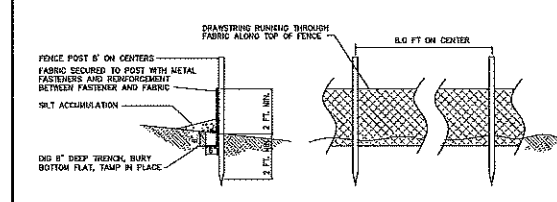
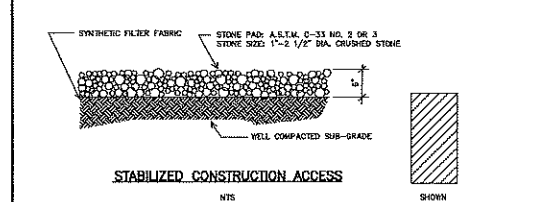
- ### BERGEN COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL NOTES
- All soil erosion and sediment control practices shall be installed in accordance with the Standards for Soil Erosion and Sediment Control in New Jersey (NJ Standards), and will be installed in proper sequence and maintained until permanent stabilization is established.
  - Any disturbed area that will be left exposed for more than thirty (30) days and not subject to construction traffic and immediately receive a temporary seeding and mulching if the erosion probable temporary seeding, the disturbed area will be mulched with certified straw at a rate of 2 lbs per 100 sq ft by approved methods (see page 9) and before, mulch setting, or after rain.
  - Whenever installing silt fences or other erosion control devices on slopes, the devices will be installed in accordance with the NJ Standards, and a suitable equivalent, at a rate of 2 lbs per 100 sq ft, according to the NJ Standards.
- #### 4. Stormwater Management
- Temporary Sediment and Mulching**  
 Ground Protection - Applied uniformly, according to soil test recommendations.  
 Filter - Apply 100 lbs/1,000 sq ft of 10-20-10 or equivalent size.  
 50% water available nitrogen (water a soil test indicates otherwise) within the soil a minimum of 4".  
 Soil - approved organic mulch from 2.5 lbs/1,000 sq ft or other approved mulch, applied between March 1 and May 15 or between August 15 and October 1.  
 Mulch - distributed evenly or by a rate of 70 to 90 lbs/1,000 sq ft applied to achieve 50% soil surface coverage. Mulch shall be anchored by approved methods (see page 9) and terms, mulch setting, or after rain.
  - Permanent Seeding and Mulching**  
 Turf - A uniform application to an average depth of 3" minimum of 4" final is required.  
 Filter - Apply 100 lbs/1,000 sq ft of 10-20-10 or equivalent size.  
 50% water available nitrogen (water a soil test indicates otherwise) within the soil a minimum of 4".  
 Soil - approved organic mulch from 2.5 lbs/1,000 sq ft or other approved mulch, applied between March 1 and May 15 or between August 15 and October 1.  
 Mulch - distributed evenly or by a rate of 70 to 90 lbs/1,000 sq ft applied to achieve 50% soil surface coverage. Mulch shall be anchored by approved methods (see page 9) and terms, mulch setting, or after rain.
- The site shall be of a slope to be graded and maintained such that stormwater runoff is directed to soil erosion and sediment control facilities.
  - Soil erosion and sediment control measures will be inspected and maintained on a regular basis, including after every storm event.
  - Structures on site to be installed with 30" of a finished slope, on a regular basis, including after every storm event.
  - A mulched area, while a permanent mulch will be installed, a construction access road indicates any paved roadway. Soil mulch will be composed of 2" - 2 1/2" crushed stone, 6" 20-40, will be at least 30' x 100' and should be underlain with a suitable synthetic fabric fabric and maintained.
  - Minimum site slopes of all exposed surfaces shall not exceed 2:1 unless otherwise approved by the District.
  - Drainage will be installed with 1" - 2" 20-40 stone on a subgrade prior to final construction.
  - All soil erosion, drainage, silt or located outside the limit of disturbance or onto public right-of-way, will be removed immediately. Paved roadways must be kept clear of all items.
  - Catch basins shall be provided with an inlet filter designed in accordance with Section 28-11 of the NJ Standards.
  - Storm drainage outlets will be installed on roadways, before the drainage public become operational.
  - Devolting operations must discharge directly into a sediment control bay or other approved filter in accordance with Section 16-1 of the NJ Standards.
  - Final site shall be controlled with the application of water, erosion control or other approved method in accordance with Section 16-1 of the NJ Standards.
  - Steps to remove earth construction site to be protected with a suitable fence located at the site line or beyond in accordance with Section 9-1 of the NJ Standards.
  - The project owner shall be responsible for any erosion or sedimentation that may occur below the disturbance area or off-site as a result of construction of the project.
  - Any action to be certified Soil Erosion and Sediment Control Plan must be submitted to the District for review and approval prior to implementation in the field.
  - A copy of the certified Soil Erosion and Sediment Control Plan must be available at the project site throughout construction.
  - The Bergen County Soil Conservation District must be notified, in writing, at least 48 hours prior to any land disturbance. Bergen County, 521, 720 Whitmanwood Road, Suite 100, Grand, NJ 07630. Tel: 201-261-4432. Fax: 201-261-7572.
  - The Bergen County Soil Conservation District may require additional measures to stabilize on- or off-site erosion control during construction.
  - The owner will obtain a District based report of compliance prior to the issuance of any certificate of occupancy. The District requires at least one week's notice to schedule the submission of all needed information. At site work must be completed, including temporary/intermittent stabilization of exposed areas, prior to the issuance of a report of compliance by the District.



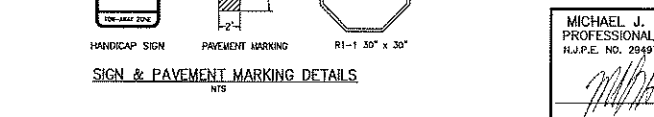
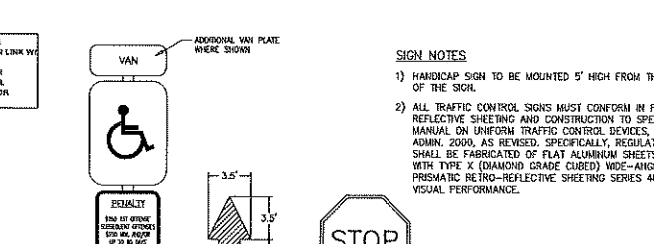
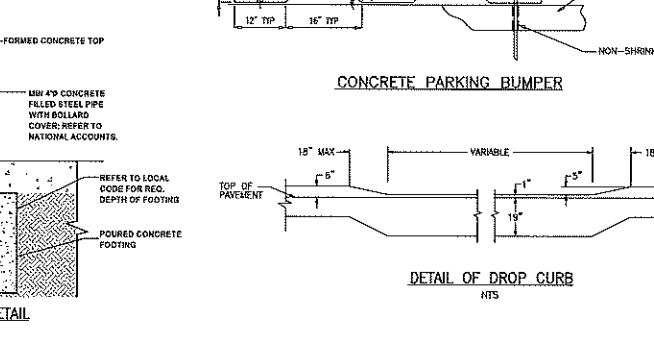
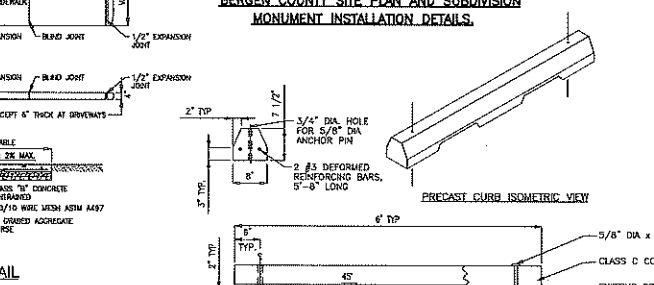
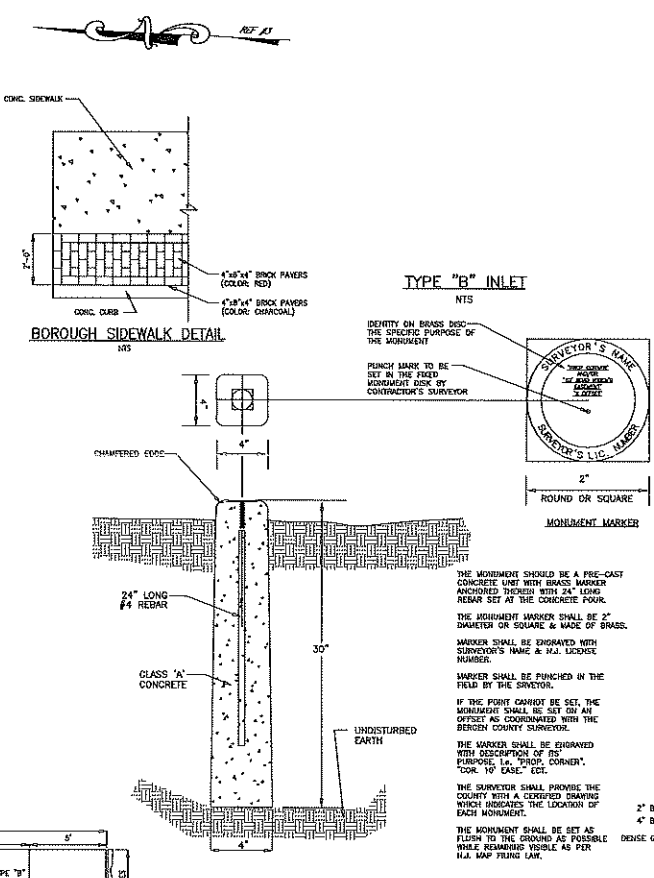
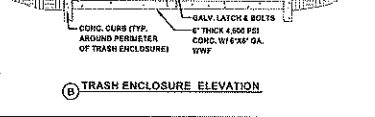
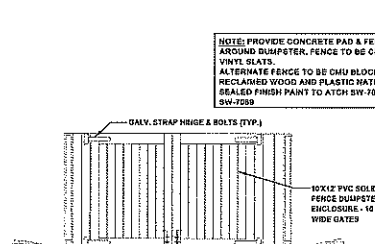
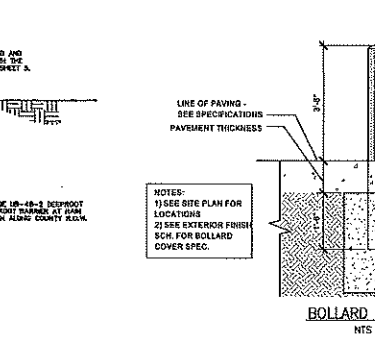
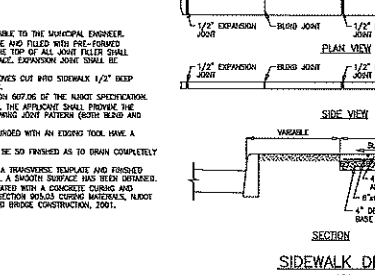
### SOIL EROSION & SEDIMENT CONTROL PLAN



- #### SEQUENCE OF CONSTRUCTION
- INSTALL 25\"/>



- #### CONCRETE CURB, SIDEWALK & DRIVEWAY APRON DETAIL
- NOTES:
- ALL CONCRETE FOR CURB FOOTING SHALL BE 4000 PSI AT 28 DAYS.
  - MECHANICALLY TAMP SOIL UNDER ALL CURB FOOTINGS, CONCRETE DRIVEWAY APRONS AND CONCRETE SIDEWALKS.
  - EXPANSION JOINTS, 1/2\"/>



### BERGEN COUNTY DEPARTMENT OF PLANNING & ECONOMIC DEVELOPMENT

#### CONTRACT SPECIFICATIONS

In accordance with N.J.S.A. 40A:13-8 only manufactured products of the United States, wherever available, shall be used for work to be performed, as noted in Section C of the attached bid sheets, to the County right-of-way or other property belonging to the County.

#### Contract Specifications

Work shall be done in accordance with the County Standard Specifications for Road and Bridge Construction, 2007 Edition, and the County Standard Specifications for Street and Driveway Construction, 2007 Edition.

#### Minimum specifications for pavement to be installed on the subject County road(s) are as follows:

- Subgrade shall be shaped and compacted and when finished, it shall conform to the required grade and conditions.
- Eight (8) inches of dense graded aggregate base course: finished.
- Six (6) inches of dense graded aggregate base course: finished.
- Two (2) inches of dense graded aggregate base course: finished.

All as specified in Section 401 of the 2007 N.J.S.A. Standard Specifications.

The proposed slope of the newly installed pavement shall have a 2% slope from the edge of the existing pavement to the new curb line or proposed edge of pavement and shall conform to proper design as approved by the County Engineer.

#### Installation

YOU ARE TO NOTIFY THE BERGEN COUNTY DEPARTMENT OF PUBLIC WORKS (Guy Hammer @ 201-326-6415) AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION AFFECTING COUNTY ROAD FACILITIES SO THAT THEY MAY HAVE AN INSPECTOR ON THE JOB DURING THE COURSE OF THE WORK.

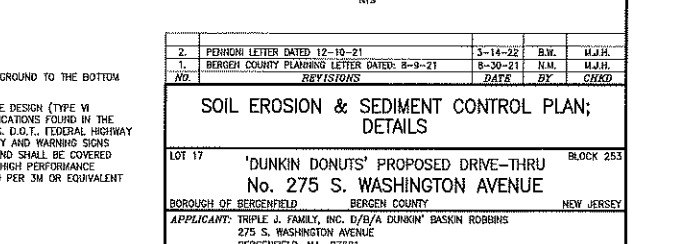
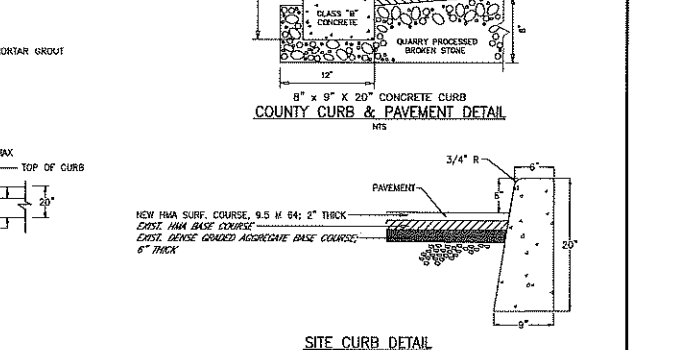
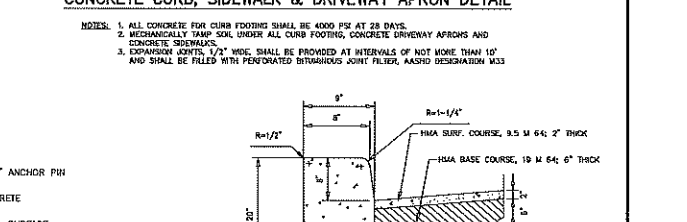
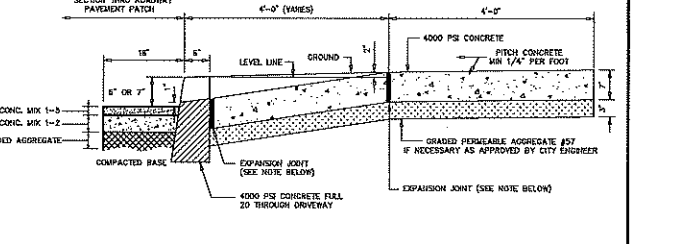
If they are not so notified and the work is completed without their inspection, certification by the Project Engineer as to the specifications used in construction will be required. You will be charged for any testing required by the County to conform with County specifications. Non-compliance with these specifications may result in complete rejection of work completed and a delay in the release of any performance guarantee.

No work affecting County roads shall be done on Saturdays, or holidays without prior permission from the Bergen County Operations Division. Also, be advised that the opening of County roads for utility installation, whether these roads are bonded under this real estate development or not, will not be permitted during the period of November 15 to March 15, inclusive in accordance with Sections 15.14 of the Application for Road Opening Permit.

#### Other

The County reserves the right to impose such traffic regulations and controls as may, from time to time be necessary to assure the efficient and safe movement of traffic on the County road.

Any actions to be taken required in the County right-of-way shall be submitted to the County Engineer's Office and Department of Planning for review and approval.



NO.	DESCRIPTION	DATE	BY	CHKD
1.	PERIODIC LETTER DATED 10-10-21	10-10-21	B.W.	M.J.H.
2.	BERGEN COUNTY PLANNING LETTER DATED 8-3-21	8-3-21	N.M.	M.J.H.

**SOIL EROSION & SEDIMENT CONTROL PLAN; DETAILS**

LOT 17 'DUNKIN DONUTS' PROPOSED DRIVE-THRU No. 275 S. WASHINGTON AVENUE BLOCK 253

BOROUGH OF BERGENFIELD BERGEN COUNTY NEW JERSEY

APPLICANT: TRIPLE J FAMILY, INC. D/B/A DUNKIN' BASKIN ROBBINS  
275 S. WASHINGTON AVENUE  
BERGENFIELD, NJ 07621

MICHAEL J. HUBSCHMAN P.E., P.P.  
PROFESSIONAL ENGINEER AND PLANNER  
N.J.P.E. NO. 28497  
N.J.P.P. NO. 13200

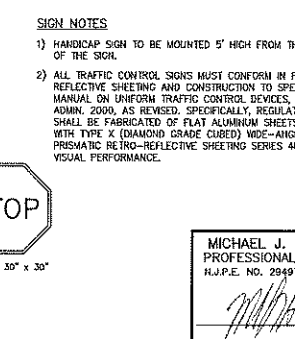
DRAWN BY: B.W.  
CHECKED BY: M.J.H.  
SCALE: AS SHOWN  
DRAWING NO.: 3947-3  
REV. 2

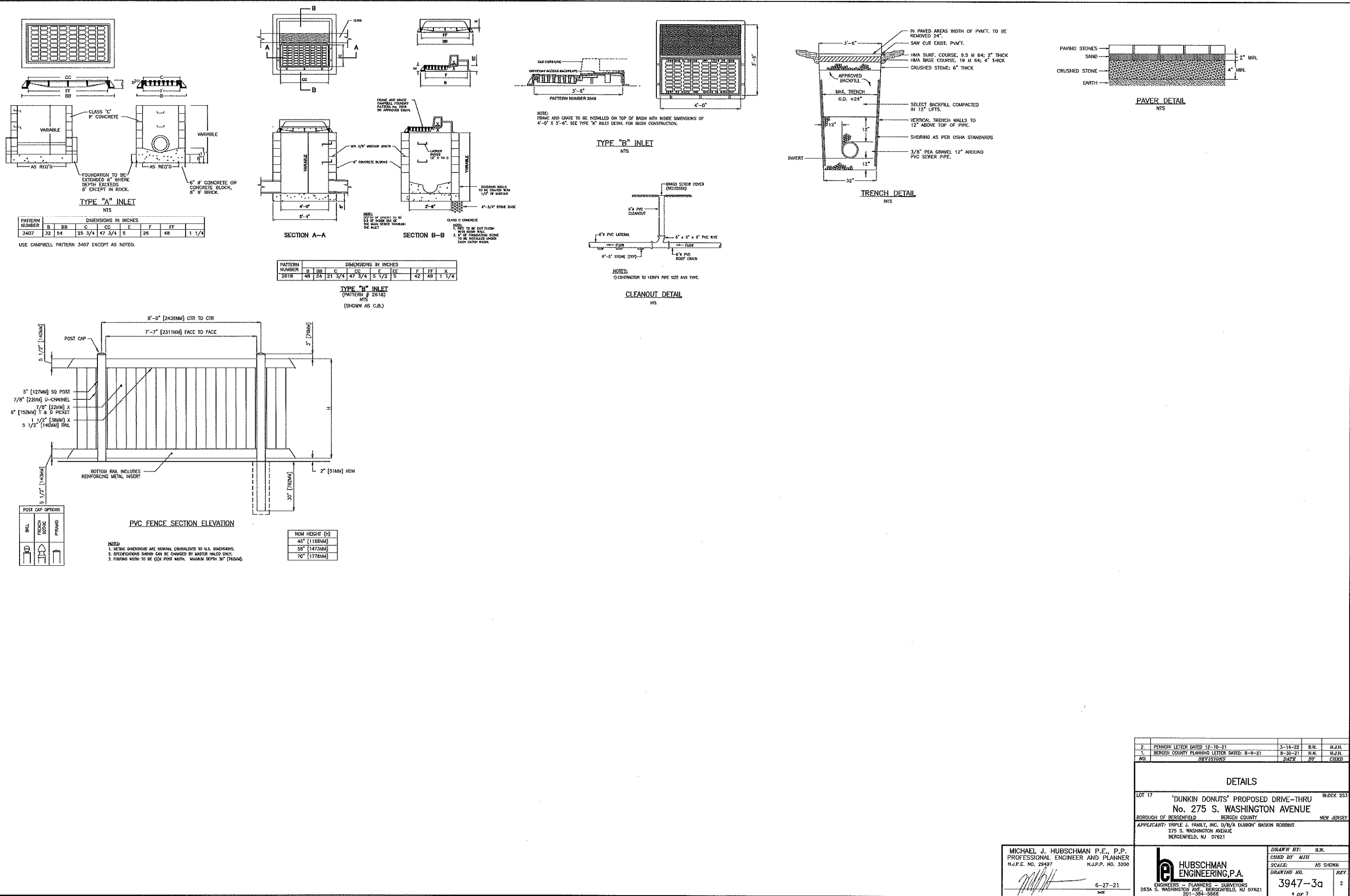
6-27-21  
DATE

HUBSCHMAN ENGINEERING P.A.  
ENGINEERS PLANNERS - SURVEYORS  
263A S. WASHINGTON AVE., BERGENFIELD, NJ 07621  
201-384-5688

3 OF 7

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2.	PENNINO LETTER DATED 12-10-21	3-14-22	B.W.	M.J.H.
1.	BERGEN COUNTY PLANNING LETTER DATED: 8-9-21	8-30-21	N.M.	M.J.H.
NO.	REVISIONS	DATE	BY	CHECK

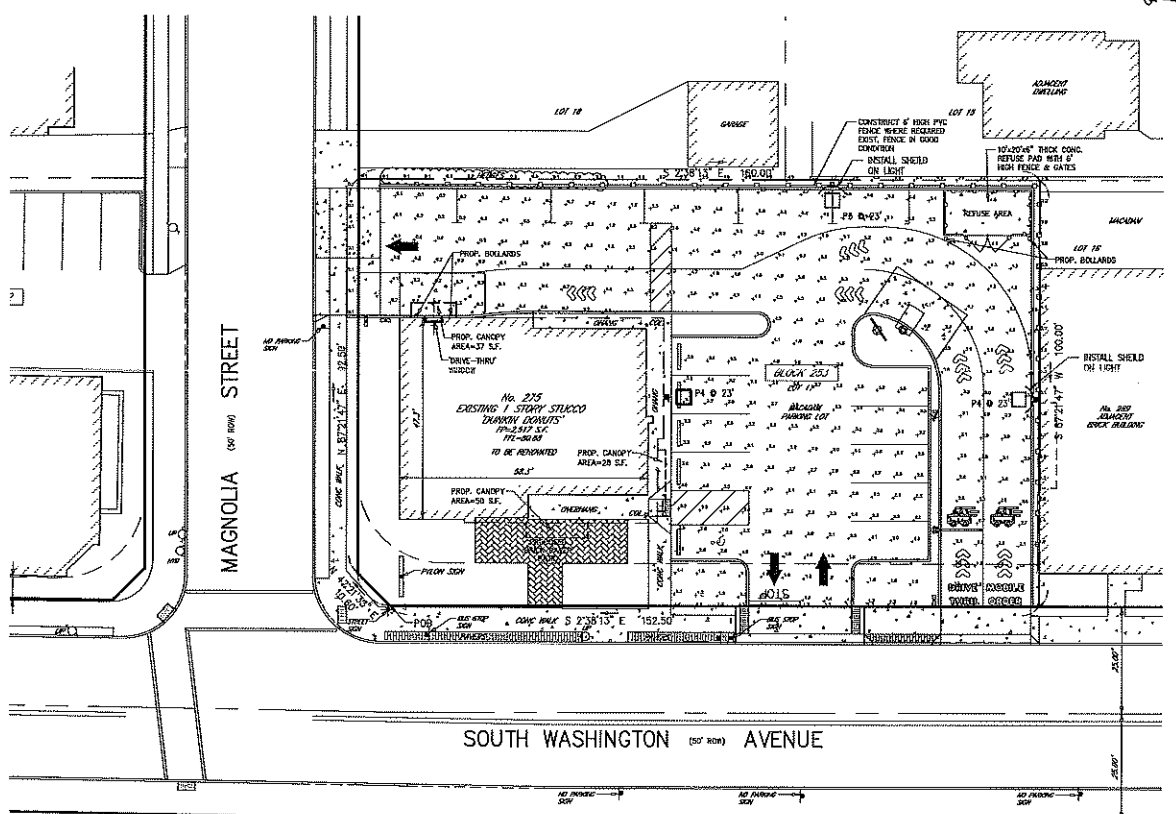
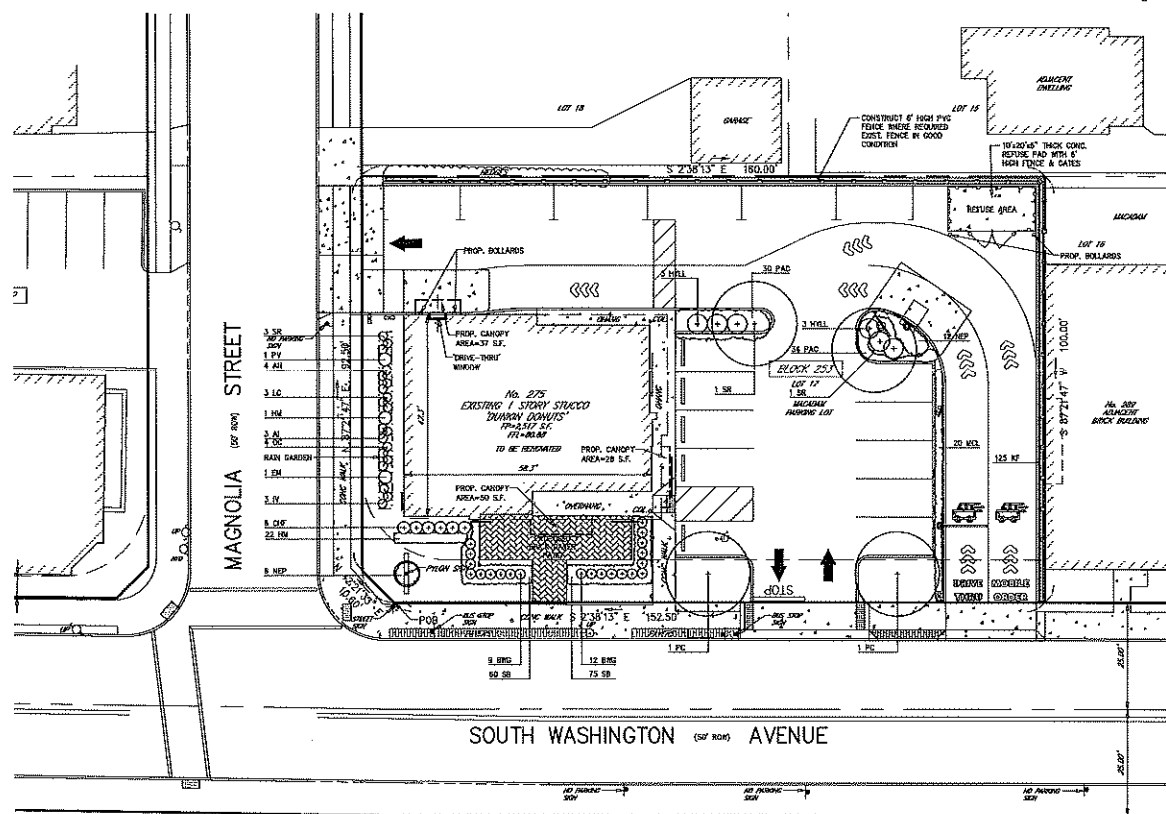
**DETAILS**

LOT 17 'DUNKIN DONUTS' PROPOSED DRIVE-THRU BLOCK 253  
No. 275 S. WASHINGTON AVENUE  
BOROUGH OF BERGENFIELD BERGEN COUNTY NEW JERSEY  
APPLICANT: TRIPLE J. FAMILY, INC. D/B/A DUNKIN' BASKIN ROBBINS  
275 S. WASHINGTON AVENUE  
BERGENFIELD, NJ 07621

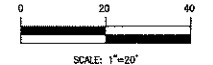
MICHAEL J. HUBSCHMAN P.E., P.P. PROFESSIONAL ENGINEER AND PLANNER N.J.P.E. NO. 29497	6-27-21	DRAWN BY: B.W. CHKD BY: MJH SCALE: AS SHOWN DRAWING NO. 3947-3a REV. 2
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HUBSCHMAN ENGINEERING, P.A.  
ENGINEERS - PLANNERS - SURVEYORS  
263A S. WASHINGTON AVE., BERGENFIELD, NJ 07621  
201-384-5666  
4 of 7

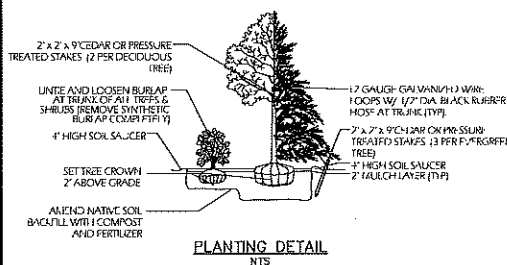
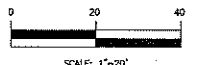
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LANDSCAPING PLAN



LIGHTING PLAN

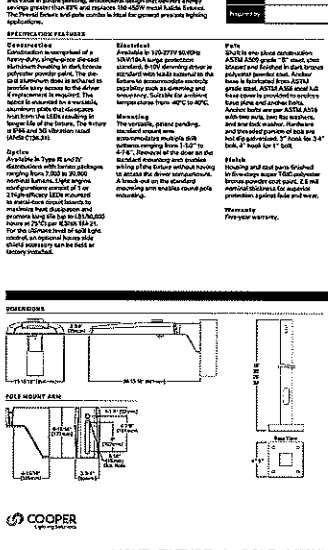
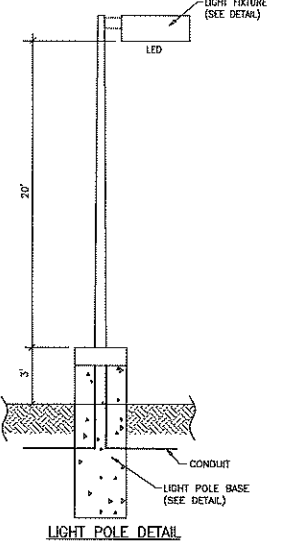
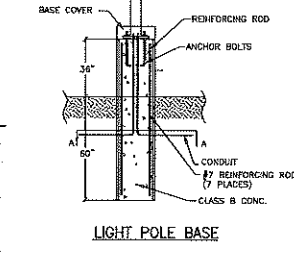
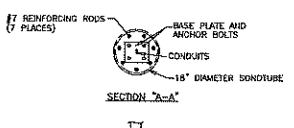


Key	Botanical Name	Common Name	Qty.	Size	Comments
<b>Trees</b>					
SR	Syringa reticulata	Japanese Tree Lilac	2	3.5'-4'	cal.
PC	Pyrus Calleryana	Callery Pear	2	3.5'-4'	cal.
<b>Shrubs</b>					
BWG	Bux 'Winter Gem'	Winter Gem Boxwood	21	24" ht.	30" o.c.
CHP	Cephalotaxus harringtonia 'Fastigiate'	Upright Plum Yew	6	30" ht.	36" o.c.
HYLL	Hydrangea 'Little Lime'	Little Lime Hydrangea	6	5g	
<b>Perennials/Groundcovers</b>					
NBP	Nepeta 'Six Hills Giant'	Six Hills Giant Catmint	18	1g	24" o.c.
SB	Stachys byzantia 'Silver Carpet'	Lamb's Ears	135	1g	12" o.c.
<b>Grasses/Bedges/Rubies</b>					
HM	Hakonechloa 'All Gold'	All Gold Hakone Grass	22	1g	24" o.c.
KF	Calamagrostis 'Karl Foerster'	Karl Foerster Reed Grass	125	1g	24" o.c.
MCL	Muhlenbergia capillaris 'Lemon'	Regl. Mint Pink Muhly Grass	20	1g	24" o.c.
PAC	Pennisetum alopecuroides 'Cassian'	Cassian Fountain Grass	64	1g	24" o.c.

Rain Garden Plant List

Key	Botanical Name	Common Name	Qty.	Size	Spacing	Mature Size
AI	Asclepias incarnata 'Soulmate'	Soulmate Swamp Milkweed	3	1g	24" o.c.	36"-42"
AM	Aster novae angliae 'Kickin Lilac Blue'	Kickin Lilac Blue New England Aster	4	1g	24" o.c.	24"-36"
EM	Eupatorium maculatum 'Gateway'	Gateway Joe Pye Weed	1	1g	24" o.c.	48"-60"
HM	Hibiscus moscheutos 'Midnight Marvel'	Midnight Marvel Swamp Mallow	1	3g	36" o.c.	48"-60"
LC	Lobelia cardinalis	Red Lobelia	3	1g	18" o.c.	24"-30"
SR	Solidago rugosa 'Fireworks'	Fireworks Goldenrod	3	1g	24" o.c.	24"-36"
<b>Grasses</b>						
PV	Panicum virgatum	Switchgrass	1	1g	36" o.c.	36"-48"
<b>Ferns</b>						
OC	Osmunda cinnamomea	Cinnamon Fern	4	1g	24" o.c.	36"-48"

- NOTES**
- CONCRETE SHALL BE COMPOSED OF ONE PART PORTLAND CEMENT 2-1/2 PARTS SAND AND 3-1/2 PARTS AGGREGATE BY VOLUME. ADMIXTURE SHALL NOT EXCEED 7-1/2 GAL PER BAG OF CEMENT.
  - ALL ANCHOR BOLTS SHALL BE DOUBLE-DRIP HOT GALVANIZED & BE TERMINATED TO SUIT LAMP STANDARDS AS REQUIRED.



Lumark

Category	Quantity	Manufacturer
Light Fixtures	2	Lumark
Poles	2	Lumark
Shields	2	Lumark
Hardware	1	Lumark

The electrical contractor shall be responsible for receiving, storage, installation and wiring of light fixtures.



PPRV PREVAL POLE AND FIXTURE COMBO

Symbol	Label	Quantity	Manufacturer	Catalog Number
P4	LUMARK - LUMARK (SHIELD)	2	LUMARK	REV-C40-D-UNV74-B2-105
P3	LUMARK - LUMARK (SHIELD)	1	LUMARK	REV-C40-D-UNV73-B2-105

Property Line	Setback	Area	Area
Parking Lot	+ 2.0 FT (8.8 FT)	0.3 AC	29.0 FT
Property Line	+ 1.5 FT (5.9 FT)	0.3 AC	29.0 FT

Luminaire & Lamps Furnished by Villa Lighting Inc., St. Louis, MO, 63103 (800)333-0633 www.villalighting.com

The electrical contractor shall report any damaged light fixtures or missing parts to Villa Lighting within 48 hours of receipt of light fixture package.

Design is based on current information provided at the time of request. Any changes in mounting height, mounting location, lamp wattage, lamp type, and existing field conditions that affect any of the previously mentioned will void the current layout and require a change request and recalculation. Calculations are based upon a computer simulation and actual field calculations may vary.

Fixtures mounted on 20' pole & 3' base  
Light level calculated on the ground

Symbol	Label	Quantity	Manufacturer	Catalog Number
P4	LUMARK - LUMARK (SHIELD)	2	LUMARK	REV-C40-D-UNV74-B2-105
P3	LUMARK - LUMARK (SHIELD)	1	LUMARK	REV-C40-D-UNV73-B2-105

Property Line	Setback	Area	Area
Parking Lot	+ 2.0 FT (8.8 FT)	0.3 AC	29.0 FT
Property Line	+ 1.5 FT (5.9 FT)	0.3 AC	29.0 FT

NO.	PERIODIC LETTER DATED	DATE	BY	CHKD.
2	PERIODIC LETTER DATED 12-10-21	3-14-22	B.W.	M.J.H.
1	BERGEN COUNTY PLANNING LETTER DATED: 8-9-21	8-30-21	M.M.	M.J.H.

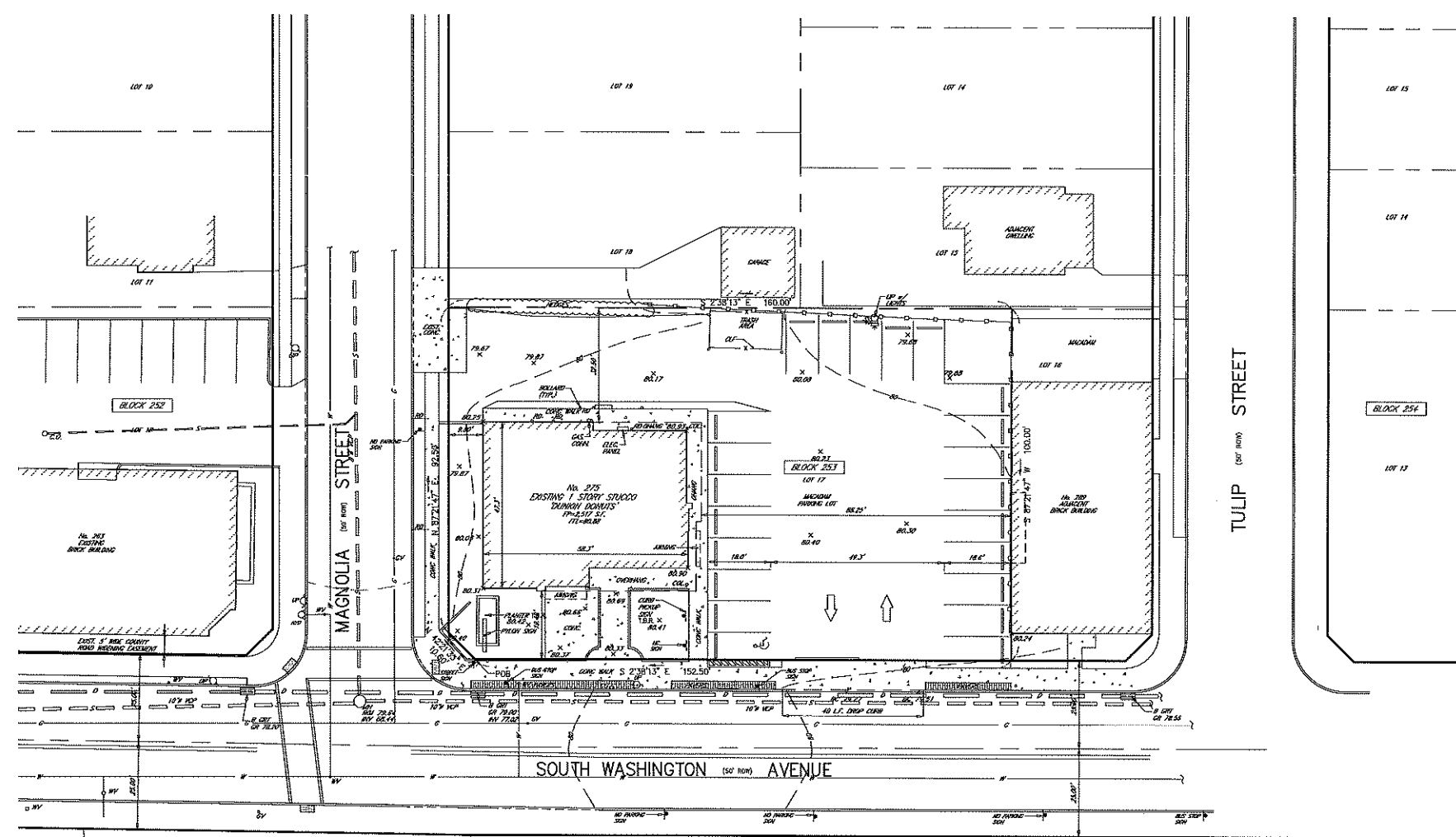
**LIGHTING & LANDSCAPING PLAN**

LOT 17 'DUNKIN DONUTS' PROPOSED DRIVE-THRU BLOCK 253  
No. 275 S. WASHINGTON AVENUE  
BOROUGH OF BERGENFIELD BERGEN COUNTY NEW JERSEY  
APPLICANT: TRIPLE J. FAMILY, INC. D/B/A DUNKIN' BASKIN ROBBINS  
275 S. WASHINGTON AVENUE  
BERGENFIELD, NJ 07621

MICHAEL J. HUBSCHMAN P.E., P.P.  
PROFESSIONAL ENGINEER AND PLANNER  
N.J.P.E. NO. 29497 N.J.P.P. NO. 3200  
6-25-21 DATE

HUBSCHMAN ENGINEERING P.A.  
ENGINEERS - PLANNERS - SURVEYORS  
263A S. WASHINGTON AVE. BERGENFIELD, NJ 07621  
201-364-5566

DRAWN BY: B.W.  
CHKD BY: M.H.  
SCALE: AS SHOWN  
DRAWING NO.: 3947-4  
REV. 2  
5 OF 7

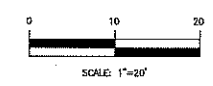


**GENERAL NOTES**

1. TOTAL LOT AREA = 15,972 S.F. (0.367 Ac.)
2. ALL ELEVATIONS BASED ON NAVD 88.

**REFERENCES**

- 1) BOOK 2952, PG 928.
- 2) A CERTAIN MAP ENTITLED "PROPERTY OF F.M. SANDBERG, BERGENFIELD GARDENS, SECTION No. 1" FILED IN THE BCCO AS MAP 1999, BEING LOTS 1-4 IN BLOCK 324-C ON SAID MAP.
- 3) A CERTAIN MAP ENTITLED "MAP OF TRACT No. 1, PET-VAN REALTY CORP., 22 BROAD AVE., MORSEMER" FILED IN THE BCCO AS MAP No. 2037, BEING LOTS 29-31 IN BLOCK 324-C ON SAID MAP.
- 4) BOROUGH OF BERGENFIELD TAX MAPS.



NO.	REVISIONS	DATE	BY	CHKD
<b>EXISTING CONDITIONS PLAN</b>				
LOT 17	"DUNKIN DONUTS" PROPOSED DRIVE-THRU			BLOCK 253
<b>No. 275 S. WASHINGTON AVENUE</b>				
BOROUGH OF BERGENFIELD		BERGEN COUNTY		NEW JERSEY
APPLICANT: TRIPLE J. FAMILY, INC. D/B/A DUNKIN' BASKIN ROBBINS				
275 S. WASHINGTON AVENUE				
BERGENFIELD, NJ 07621				

ROBERT J. MUELLER  
PROFESSIONAL LAND SURVEYOR  
N.J. LIC No. 37206

*[Signature]*  
6-25-21  
BME

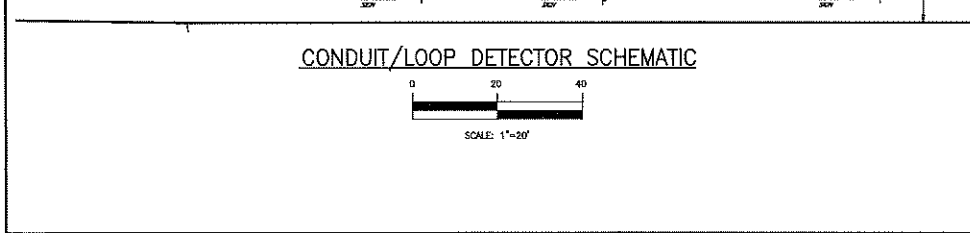
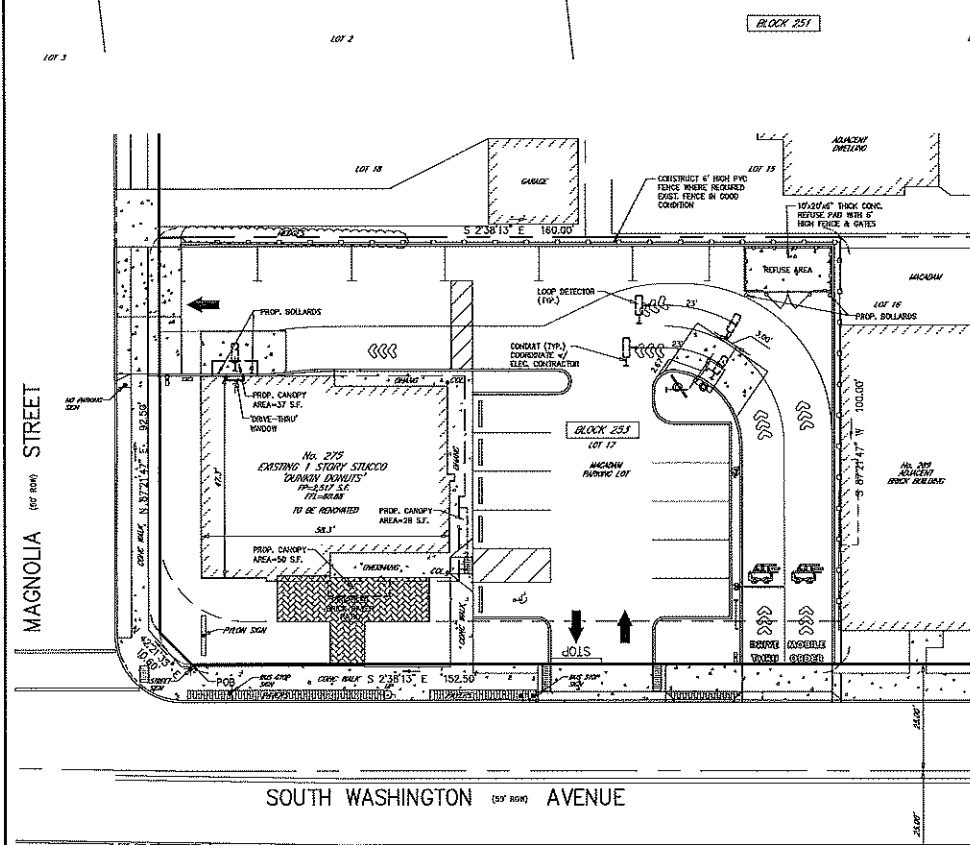
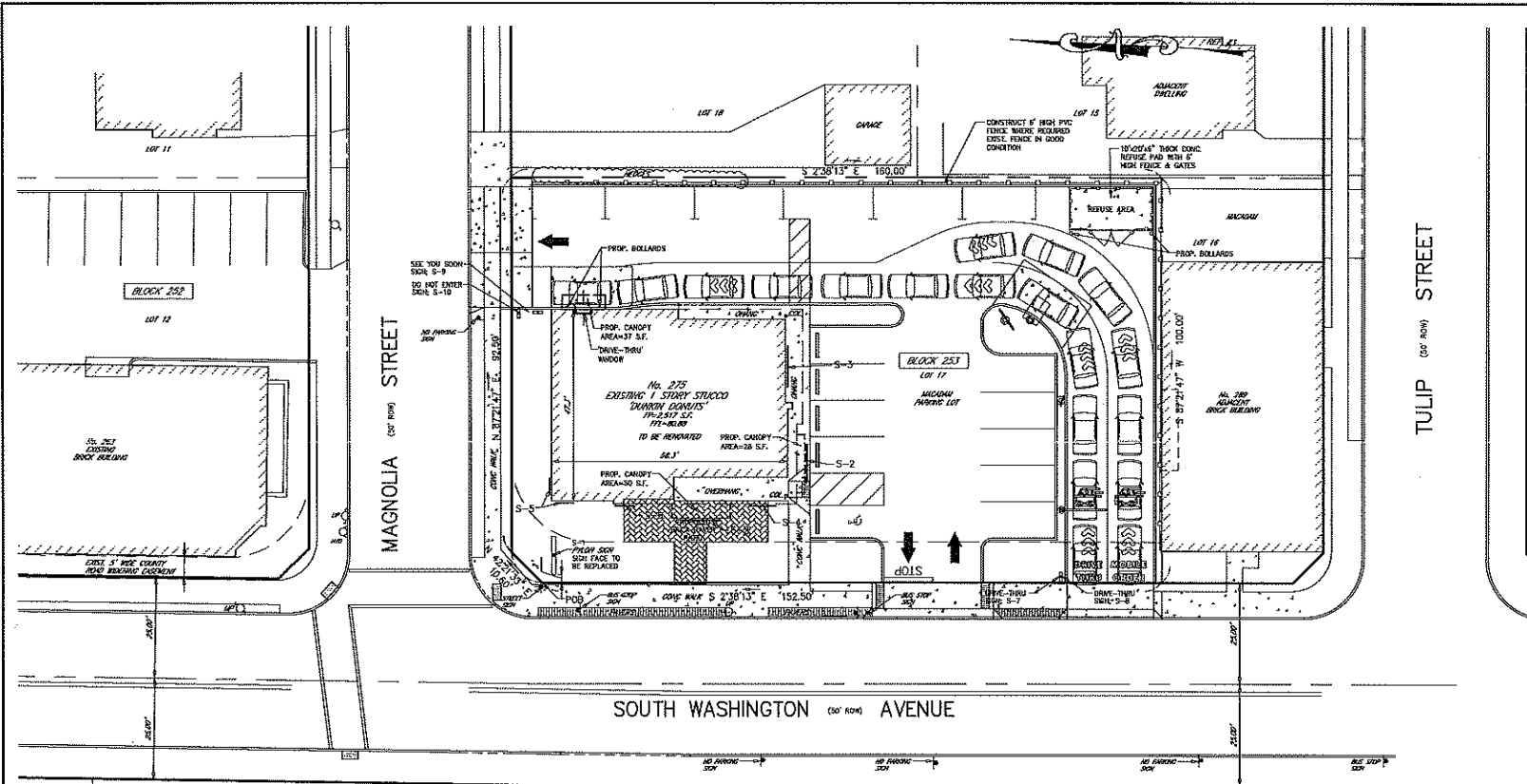
MICHAEL J. HUBSCHMAN P.E., P.P.  
PROFESSIONAL ENGINEER AND PLANNER  
N.J.P.E. NO. 29497 N.J.P.P. NO. 3200

*[Signature]*  
6-25-21  
BME

**HUBSCHMAN ENGINEERING, P.A.**  
ENGINEERS - PLANNERS - SURVEYORS  
263A E. WASHINGTON AVE., BERGENFIELD, NJ 07621  
201-384-5668

DRAWN BY: B.W.  
CHKD BY: M.H.  
SCALE: 1"=20'  
DRAWING NO. 3947-5  
REV. -

6 OF 7



**SIGN NOTES**

185-48(2)(c) WALL SIGNS

REQUIREMENT	PROVIDED
ONE WALL SIGN PERMITTED	1
MAX. WIDTH (75% OF FACADE)	43.7 FT. 24.28 FT.
MAX. AREA OF SIGN	35 S.F. 72.05 S.F. *
MAX. HEIGHT OF SIGN	3 FT. 2.08 FT.
MAX. PROJECTION	14 INCHES 6 INCHES
MIN. HEIGHT ABOVE WALK	10 FT. 7.17 FT. *

185-48(2)(b) FREE-STANDING SIGNS

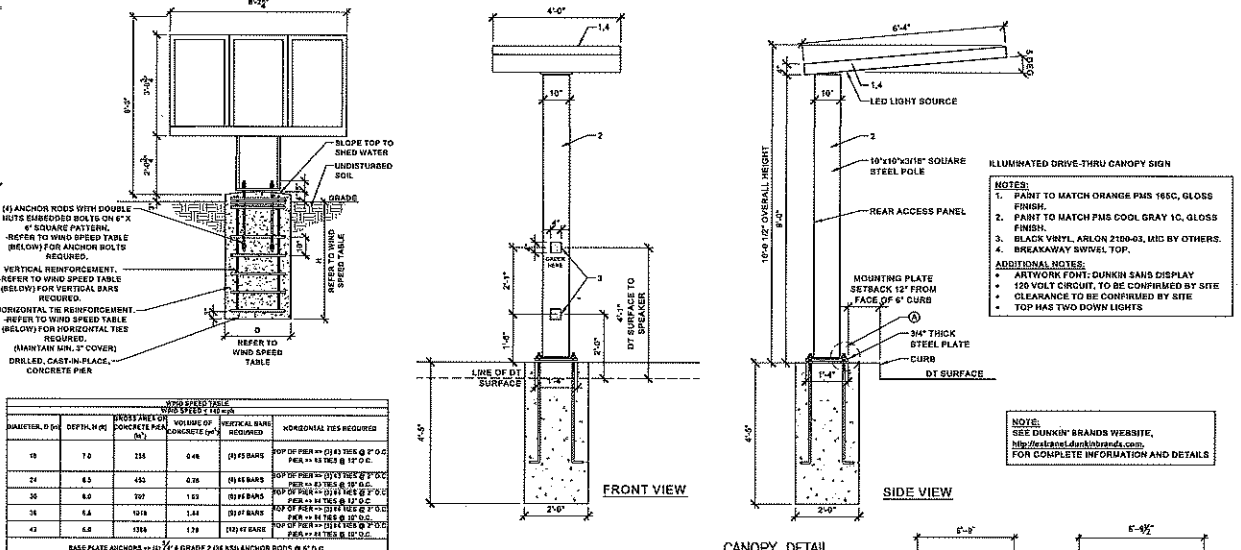
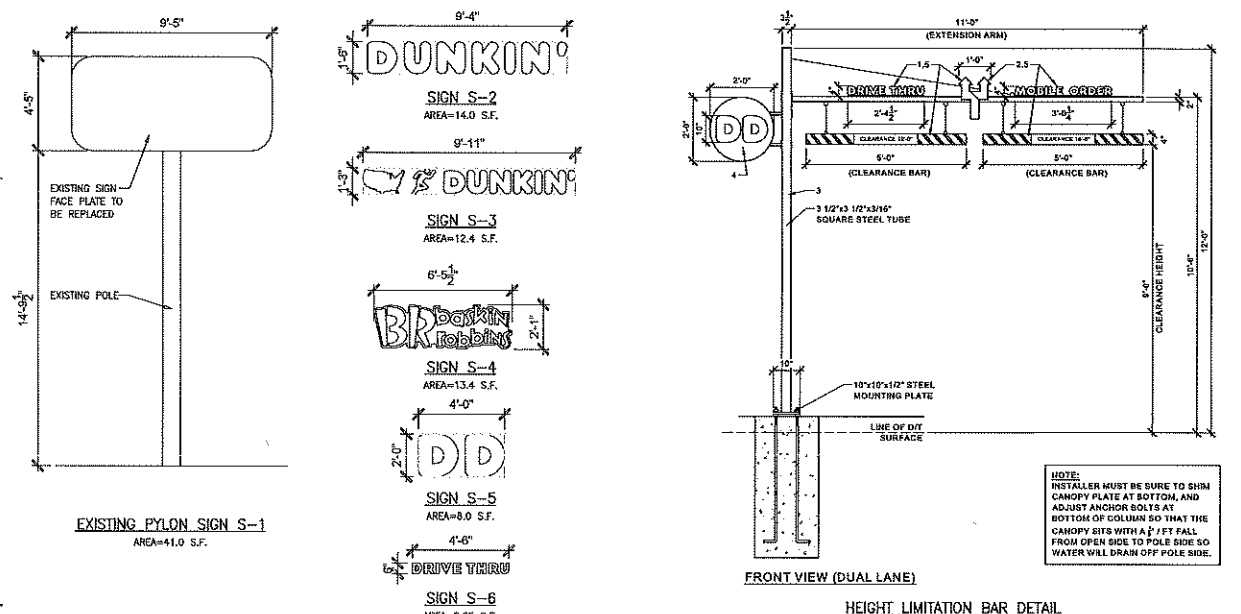
SAC. AREA	25 S.F. 41.0 FT. (2)
MAX. HEIGHT	8 FT. 19.20 FT. (2)
ONE FREE-STANDING SIGN PERMITTED WHEN BLDG. SETBACK IS 25 FT.	25 FT. 19.41 FT. (2)

\* VARIANCE REQUIRED.

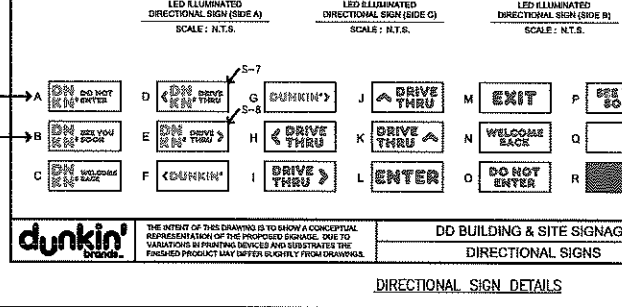
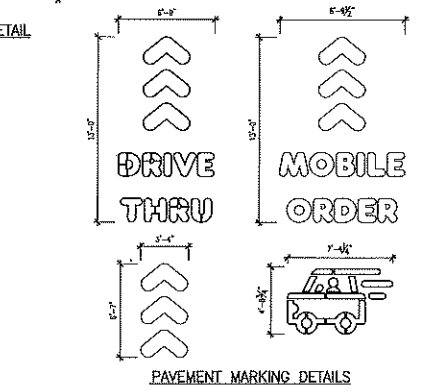
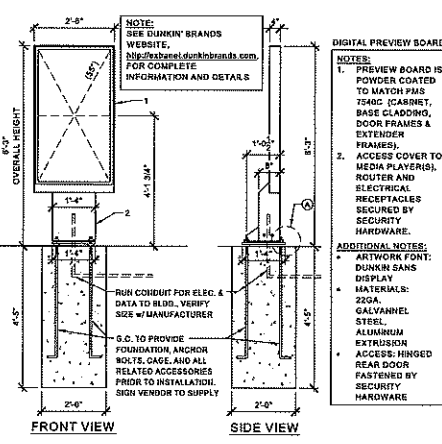
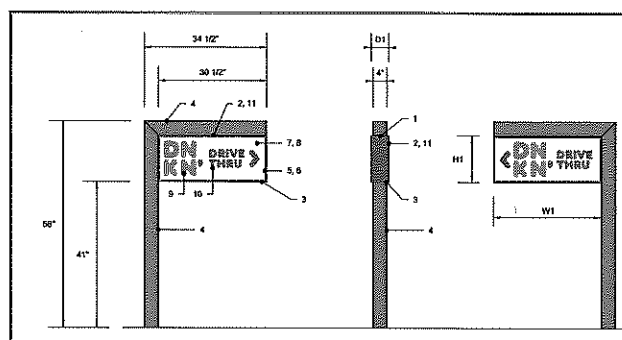
(1) MAX. SIGN AREA = 75% OF FACADE x 3 FT. = 0.75 x 43.7 x 3 = 95.3 S.F. MAX. = 35 S.F.

FRONT FACADE = 58.3 S.F.

(2) EXISTING NON-CONFORMING CONDITION.



**DIGITAL MENU BOARD**



**DD BUILDING & SITE SIGNAGE**

**DIRECTIONAL SIGNS**

NO.	DESCRIPTION	DATE	BY
1	DD BUILDING & SITE SIGNAGE	05-12-2021	M.J.H.
2	DIRECTIONAL SIGNS	06-27-21	M.J.H.

**SIGNAGE PLAN & DETAILS**

LOT 17 'DUNKIN' DONUTS' PROPOSED DRIVE-THRU BLOCK 253  
No. 275 S. WASHINGTON AVENUE  
BOROUGH OF BERGENFIELD BERGEN COUNTY NEW JERSEY  
APPLICANT: TRIPLE J. FAMILY, INC. D/B/A DUNKIN' BASKIN ROBBINS  
275 S. WASHINGTON AVENUE  
BERGENFIELD, NJ 07621

NO.	DESCRIPTION	DATE	BY
1	PENNONI LETTER DATED 12-10-21	3-14-22	B.W.
2	BERGEN COUNTY PLANNING LETTER DATED: 8-9-21	8-30-21	N.H.

**HUBSCHMAN ENGINEERING, P.A.**  
ENGINEERS - PLANNERS - SURVEYORS  
263A S. WASHINGTON AVE., BERGENFIELD, NJ 07621  
201-384-5666

**DRAWN BY:** B.W.  
**CHECKED BY:** MAH  
**SCALE:** 1"=20'  
**DRAWING NO.:** 3947-6  
**REV.:** 2

MICHAEL J. HUBSCHMAN P.E., P.P.  
PROFESSIONAL ENGINEER AND PLANNER  
N.J.P.E. NO. 29497